



Village of Bellevue Board of Trustees  
MEETING AGENDA  
March 10, 2021 6:30 P.M.

live streaming at [facebook.com/BellevueWisconsin](https://facebook.com/BellevueWisconsin)

Notice is hereby given that the Bellevue Village Board may take action on any item listed within this agenda.

**Village Board**

Steve Soukup, President  
Adam Gauthier, Trustee  
Dave Kaster, Trustee  
Tom Katers, Trustee  
John Sinkler, Trustee

**Administration**

Diane Wessel,  
Village Administrator

Karen Simons,  
Director  
Finance/Clerk-Treasurer

Andrew Vissers,  
Director  
Community Development

Adam Waszak,  
Director Parks,  
Recreation and Forestry

David Litton,  
Fire Chief

Trevor Bilgo,  
Directed Enforcement  
Officer II

Vacant,  
Director Public Works

**Our Values**

- Dedication
- Quality
- Innovation
- Responsive
- Accountability
- Integrity
- Leadership

**A. CALL TO ORDER**

**B. PLEDGE OF ALLEGIANCE**

**C. ROLL CALL**

**D. APPROVE/AMEND AGENDA**

**E. CONSENT AGENDA**

1. Approval of the Bills
2. Approval of the Village Board Minutes:
  - a. Regular Meeting - 2/24/2021
3. Approval of the Committee/Commission Minutes:
  - a. Plan Commission - 2/16/2021
4. Operators Licenses
5. Engineer's Report
6. Committee/Commission/Board Appointments
7. Budget Carryover Resolution (Resolution No. V-15-2021)

*All items listed under "Consent Agenda" are considered to be routine and/or non-controversial by the Village Board and will be approved by one motion. There will be no separate discussion. If discussion is desired by members, that item will be removed from the consent agenda and discussed separately immediately after consent agenda approval.*

**F. PUBLIC HEARINGS:**

1. PDD 2021-0002 - Consider/Discuss/Act on the request by Ryan Van Straten, Alliance Management, Applicant, on behalf of Robert & Erin Hoekstra, owner, to establish a Preliminary Planned Development District (PDD) for a mixture of a 138-unit addition to the Crystal Lake Apartment Development and Single-Family Residential Lots located on the north side of Hoffman Road (County Highway XX), approximately 430 feet west of Bellevue Street (County Highway XX), Parcels B-296 & B-300.

**G. PUBLIC COMMENT:** The public is encouraged to provide comments in advance of the Meeting by sending them to the Administrator, 2828 Allouez Ave Green Bay, WI 54311, or email at [dwessel@villageofbellevue.org](mailto:dwessel@villageofbellevue.org). Comments must include the commentator's name and address for the record. Public comments must be limited to items NOT on the agenda; Comments will be limited to one page in length and will be read during the public comment period. The Board's role is to listen and not discuss/debate comments nor take action of those comments at the Meeting

**H. PRESENTATIONS:**

1. Public Engagement Opportunities:
  - a. Committee Vacancies

**I. COMMUNICATIONS: NONE**

**J. BROWN COUNTY REPORT**

**K. OLD BUSINESS: NONE**

**L. NEW BUSINESS:**

1. Discussion/Possible Action: 2021 Debt Issuance; Adoption of Preliminary Resolutions
  - a) Initial Resolution Authorizing the Borrowing of Not to Exceed \$775,000; and Providing for the Issuance and Sale of General Obligation Bonds Therefor. (Resolution No. V-10-2021)
  - b) Initial Resolution Authorizing the Borrowing of Not to Exceed \$2,400,000; and Providing for the Issuance and Sale of General Obligation Bonds Therefor. (Resolution No. V-11-2021)
  - c) Initial Resolution Authorizing the Borrowing of Not to Exceed \$1,845,000; and Providing for the Issuance and Sale of General Obligation Bonds Therefor. (Resolution No. V-12-2021)
  - d) Initial Resolution Authorizing the Borrowing of Not to Exceed \$3,575,000; and Providing for the Issuance and Sale of General Obligation Bonds Therefor. (Resolution No. V-13-2021)
2. Discussion/Possible Action: Awarding of the Bids for Leasing of Village Owned Lands Suitable for Agricultural Purposes and Execution of Leases
3. Discussion/Possible Action: Utilization of the Village of Bellevue Residential Infrastructure Incentive and the Waiving of Possible Contesting and a Public Hearing for Special Assessments for the Willow Grove First Addition Subdivision (Resolution V-14-2021).
4. Discussion/Possible Action: Preliminary Guns Street and Moonrise Court Assessments

**M. STAFF REPORTS**

**N. BOARD COMMENTS**

**O. MATTERS TO BE PLACED ON NEXT AGENDA**

**P. CLOSED SESSION: NONE**

**Q. ADJOURNMENT**

NEXT REGULAR MEETING: WEDNESDAY – MARCH 24, 2021

*Posted and notified: March 5, 2021*

*Karen M. Simons, Director of Finance /Clerk-Treasurer, Village of Bellevue*

*Any person wishing to attend who, because of disability or stay at home order, requires special accommodations should contact the Clerk/Treasurer at (920) 468-5225, 2828 Allouez Avenue, at least 48 hours prior to the Meeting so arrangements can be made. Attachments or other documents referenced in this agenda are available for view or copying at the Bellevue Village Office, 2828 Allouez Avenue, during normal business hours; on the Village website; or by contacting the Clerk/Treasurer at (920) 468-5225.*

## Report Criteria:

Report type: GL detail

[Report].Check Number = 14806-14826,60514-60550

Payee	Description	Invoice GL Account	Check Number	Amount
<b>AZTECA SYSTEMS LLC</b>				
AZTECA SYSTEMS LLC	CityWorks Reporting Training	600-59300-331-00	14806	500.00
AZTECA SYSTEMS LLC	CityWorks Reporting Training	620-51411-331-00	14806	500.00
AZTECA SYSTEMS LLC	CityWorks Reporting Training	700-58500-331-00	14806	350.00
Total AZTECA SYSTEMS LLC:				1,350.00
<b>BUBRICK'S COMPLETE OFFICE OF WI INC</b>				
BUBRICK'S COMPLETE OFFICE OF WI INC	11 x 17 copy paper	100-51410-310-00	14807	159.41
BUBRICK'S COMPLETE OFFICE OF WI INC	8 1/2 x 11 copy paper	100-51410-310-00	14807	461.50
Total BUBRICK'S COMPLETE OFFICE OF WI INC:				620.91
<b>CEDAR CORPORATION</b>				
CEDAR CORPORATION	Manitowoc Rd (Allouez to Kewaunee Rd)	410-53315-820-94	14808	3,482.28
CEDAR CORPORATION	Storm Water Engineering - Del Mar Ln Storm Review	620-51411-215-00	14808	1,625.00
CEDAR CORPORATION	Storm Water Engineering - Village Creek Estates Storm Revie	620-51411-215-00	14808	125.00
CEDAR CORPORATION	Storm Water Engineering - Willow Grove 1st Addition Storm R	620-51411-215-00	14808	500.00
CEDAR CORPORATION	C-20 Manitowoc Rd Sanitary Sewer/Water Main (Allouez to S	600-11070-000-95	14808	2,072.50
CEDAR CORPORATION	C-20 Manitowoc Rd Sanitary Sewer/Water Main (Allouez to S	700-11070-000-95	14808	2,072.50
CEDAR CORPORATION	A-21 Guns St Roadway/Sidewalk/Culvert Reconstruction	410-53315-820-95	14808	17,252.74
CEDAR CORPORATION	A-21 Guns St Roadway/Sidewalk/Culvert Reconstruction	600-11070-000-95	14808	1,350.00
CEDAR CORPORATION	A-21 Guns St Sanitary Sewer/Water Main Reconstruction	600-11070-000-95	14808	9,720.70
CEDAR CORPORATION	A-21 Guns St Sanitary Sewer/Water Main Reconstruction	700-11070-000-95	14808	9,720.70
CEDAR CORPORATION	Allouez Ave - Sidewalk design assistance (Bellevue St West)	410-53430-000-99	14808	1,433.00
CEDAR CORPORATION	2020 Annual Report MS4 Permit	620-51411-215-00	14808	625.00
CEDAR CORPORATION	2021 Interim Public Works Director	100-53315-215-00	14808	315.00
Total CEDAR CORPORATION:				50,294.42
<b>CENTRAL BROWN COUNTY WATER AUTHORITY</b>				
CENTRAL BROWN COUNTY WATER AUTHO	Charges for January	600-56020-290-00	14809	171,845.00
Total CENTRAL BROWN COUNTY WATER AUTHORITY:				171,845.00
<b>EMPOWERMENT DANCE LLC</b>				
EMPOWERMENT DANCE LLC	February 2021 Beginner's Ballet Instructor	100-55300-290-00	14810	288.00
Total EMPOWERMENT DANCE LLC:				288.00
<b>FOX SPECIALTY CO LLC</b>				
FOX SPECIALTY CO LLC	Custodial Supplies - 2828	100-51600-350-00	14811	131.20
Total FOX SPECIALTY CO LLC:				131.20
<b>FRV INC</b>				
FRV INC	Ink cartridges - Plotter	100-56800-310-00	14812	233.36
Total FRV INC:				233.36
<b>GAT SUPPLY INC</b>				
GAT SUPPLY INC	Grease Gun	290-53311-340-00	14813	329.00



Payee	Description	Invoice GL Account	Check Number	Amount
Total GAT SUPPLY INC:				329.00
<b>GLENN'S 24 HR TOWING INC</b>				
GLENN'S 24 HR TOWING INC	Winch out PD 2017 Dodge Charger (Klondike & Vail Ct)	100-52100-350-00	14814	50.00
Total GLENN'S 24 HR TOWING INC:				50.00
<b>GRAINGER INC</b>				
GRAINGER INC	Disposable Latex Gloves	600-56730-340-00	14815	14.80
GRAINGER INC	Disposable Latex Gloves	600-56730-340-00	14815	14.80
GRAINGER INC	Disposable Latex Gloves	700-58310-340-00	14815	14.80
GRAINGER INC	Disposable Latex Gloves	600-56730-340-00	14815	55.35
GRAINGER INC	Disposable Latex Gloves	700-58310-340-00	14815	40.55
GRAINGER INC	Disposable Latex Gloves	620-53441-340-00	14815	40.55
GRAINGER INC	Disposable Latex Gloves	620-53441-340-00	14815	40.55
Total GRAINGER INC:				221.40
<b>GREEN BAY METROPOLITAN SEWERAGE</b>				
GREEN BAY METROPOLITAN SEWERAGE	Sewerage Services for January	700-58201-225-00	14816	158,917.36
Total GREEN BAY METROPOLITAN SEWERAGE:				158,917.36
<b>GREEN BAY, CITY OF</b>				
GREEN BAY, CITY OF	Fire Dept Services	100-52200-290-00	14817	368,213.05
Total GREEN BAY, CITY OF:				368,213.05
<b>KNIPPEL, RAE G</b>				
KNIPPEL, RAE G	Village Board Minutes for February	100-51420-290-00	14818	420.00
Total KNIPPEL, RAE G:				420.00
<b>PAUSTENBACH, JENNIFER</b>				
PAUSTENBACH, JENNIFER	Vision - 2021	100-51510-133-00	14819	400.00
Total PAUSTENBACH, JENNIFER:				400.00
<b>PRO ONE JANITORIAL INC</b>				
PRO ONE JANITORIAL INC	Janitorial Service March - 3100	100-51600-290-00	14820	389.00
PRO ONE JANITORIAL INC	Janitorial Service March - 2828	100-51600-290-00	14820	308.07
PRO ONE JANITORIAL INC	Janitorial Service March - 1811	100-51600-290-00	14820	199.00
PRO ONE JANITORIAL INC	Additional cleaning 2/20/21	100-51600-290-00	14820	75.00
Total PRO ONE JANITORIAL INC:				971.07
<b>SHRED-IT US JV LLC</b>				
SHRED-IT US JV LLC	Document destruction charge - February	100-52100-290-00	14821	32.79
SHRED-IT US JV LLC	Document destruction charge - February	100-51200-290-00	14821	32.80
Total SHRED-IT US JV LLC:				65.59
<b>TILOT OIL LLC</b>				
TILOT OIL LLC	Diesel Exhaust Fluid 55/Drum	290-53311-342-00	14822	56.10
Total TILOT OIL LLC:				56.10

Payee	Description	Invoice GL Account	Check Number	Amount
VIKING ELECTRIC SUPPLY				
VIKING ELECTRIC SUPPLY	Light bulbs for Well #4	600-56170-000-00	14823	13.50
Total VIKING ELECTRIC SUPPLY:				13.50
<b>VORPAHL FIRE &amp; SAFETY</b>				
VORPAHL FIRE & SAFETY	Leather Gloves	600-56730-340-00	14824	91.20
VORPAHL FIRE & SAFETY	Leather Gloves	700-58310-340-00	14824	91.20
VORPAHL FIRE & SAFETY	Leather Gloves	620-53441-340-00	14824	91.20
VORPAHL FIRE & SAFETY	XL Driver's Gloves	600-56730-340-00	14824	34.20
VORPAHL FIRE & SAFETY	XL Driver's Gloves	700-58310-340-00	14824	34.20
VORPAHL FIRE & SAFETY	XL Driver's Gloves	620-53441-340-00	14824	34.20
VORPAHL FIRE & SAFETY	XL Driver's Gloves	100-53311-340-00	14824	34.20
Total VORPAHL FIRE & SAFETY:				410.40
<b>WISCONSIN HUMANE SOCIETY</b>				
WISCONSIN HUMANE SOCIETY	Animal Control Services - January 2021	100-52100-290-00	14825	119.92
Total WISCONSIN HUMANE SOCIETY:				119.92
<b>WISCONSIN PUBLIC SERVICE</b>				
WISCONSIN PUBLIC SERVICE	Utilities - February	100-51600-221-00	14826	6,574.17
WISCONSIN PUBLIC SERVICE	Utilities - February	100-53420-221-00	14826	10,692.80
WISCONSIN PUBLIC SERVICE	Utilities - February	100-55200-221-00	14826	851.35
WISCONSIN PUBLIC SERVICE	Utilities - February	600-56230-221-00	14826	821.21
WISCONSIN PUBLIC SERVICE	Utilities - February	700-58201-221-00	14826	371.99
Total WISCONSIN PUBLIC SERVICE:				19,311.52
<b>AFLAC</b>				
AFLAC	AFLAC PRE TAX Pay Period: 2/7/2021	100-21531-000-00	60514	108.40
AFLAC	AFLAC PRE TAX Pay Period: 2/21/2021	100-21531-000-00	60514	108.40
Total AFLAC:				216.80
<b>ANTHEM BLUE CROSS &amp; BLUE SHIELD</b>				
ANTHEM BLUE CROSS & BLUE SHIELD	Health Insurance (Mar)	100-21530-000-00	60515	18,644.09
Total ANTHEM BLUE CROSS & BLUE SHIELD:				18,644.09
<b>DELTA DENTAL</b>				
DELTA DENTAL	Dental Insurance (Mar)	100-21540-000-00	60516	1,352.00
Total DELTA DENTAL:				1,352.00
<b>DENMARK STATE BANK</b>				
DENMARK STATE BANK	CHRISTMAS CLUB Pay Period: 2/7/2021	100-21560-000-00	60517	310.00
DENMARK STATE BANK	CHRISTMAS CLUB Pay Period: 2/21/2021	100-21560-000-00	60517	310.00
Total DENMARK STATE BANK:				620.00
<b>GREAT WEST</b>				
GREAT WEST	DEFERRED COMP-WDC-ROTH Pay Period: 2/21/2021	100-21520-000-00	60518	75.00
GREAT WEST	DEFERRED COMP-WDC-ROTH Pay Period: 2/21/2021	100-21522-000-00	60518	175.00
GREAT WEST	DEFERRED COMP-WDC Pay Period: 2/21/2021	100-21522-000-00	60518	1,299.00

Payee	Description	Invoice GL Account	Check Number	Amount
Total GREAT WEST:				1,549.00
<b>WI DEPT OF FINANCIAL INSTITUTIONS</b>				
WI DEPT OF FINANCIAL INSTITUTIONS	Notary Public Application - D Novak	100-51410-320-00	60519	20.00
WI DEPT OF FINANCIAL INSTITUTIONS	Notary Public Application - M Du Chateau	100-51410-320-00	60519	20.00
Total WI DEPT OF FINANCIAL INSTITUTIONS:				40.00
<b>CELLCOM</b>				
CELLCOM	Telephone charges (Feb)	100-53311-223-00	60520	444.83
CELLCOM	Telephone charges (Feb)	100-51440-223-00	60520	37.65
CELLCOM	Telephone charges (Feb)	100-51510-223-00	60520	37.65
CELLCOM	Telephone charges (Feb)	100-56900-223-00	60520	75.30
CELLCOM	Telephone charges (Feb)	100-52400-223-00	60520	96.50
CELLCOM	Telephone charges (Feb)	100-56800-223-00	60520	54.40
CELLCOM	Telephone charges (Feb)	100-51410-223-00	60520	75.30
CELLCOM	Telephone charges (Feb)	100-55100-223-00	60520	144.22
CELLCOM	Telephone charges (Feb)	100-52100-223-00	60520	214.18
CELLCOM	Telephone charges (Feb)	100-52200-223-00	60520	10.84
CELLCOM	Telephone charges (Feb)	100-51600-223-00	60520	55.07
Total CELLCOM:				1,224.26
<b>TIME WARNER CABLE</b>				
TIME WARNER CABLE	Internet Service (Feb)	100-51450-224-00	60521	17.50
Total TIME WARNER CABLE:				17.50
<b>TIME WARNER CABLE</b>				
TIME WARNER CABLE	Internet Service (Feb) - 1811 Allouez	100-51450-224-00	60522	110.00
Total TIME WARNER CABLE:				110.00
<b>U S BANCORP EQUIPMENT FINANCE INC</b>				
U S BANCORP EQUIPMENT FINANCE INC	Monthly lease Konica C227 & C368 Copiers (Mar)	100-53311-290-00	60523	75.76
U S BANCORP EQUIPMENT FINANCE INC	Monthly lease Konica C227 & C368 Copiers (Mar)	100-51200-290-00	60523	46.90
U S BANCORP EQUIPMENT FINANCE INC	Monthly lease Konica C227 & C368 Copiers (Mar)	100-52100-290-00	60523	46.90
U S BANCORP EQUIPMENT FINANCE INC	Monthly lease Konica C227 & C368 Copiers (Mar)	100-51410-290-00	60523	46.91
Total U S BANCORP EQUIPMENT FINANCE INC:				216.47
<b>AMAZON CAPITAL SERVICES INC</b>				
AMAZON CAPITAL SERVICES INC	Eric Woodke - Office Supplies	290-53311-340-00	60524	146.48
Total AMAZON CAPITAL SERVICES INC:				146.48
<b>AMERICAN CONSERVATION &amp; BILLING SOLUTION</b>				
AMERICAN CONSERVATION & BILLING SOL	Aqua Hawk Services for 03/01/21-04/01/21	600-59230-212-00	60525	260.00
Total AMERICAN CONSERVATION & BILLING SOLUTION:				260.00
<b>BELLEVUE WATER UTILITY</b>				
BELLEVUE WATER UTILITY	February Utility Bill - 2828 Allouez	100-51600-222-00	60526	730.91
BELLEVUE WATER UTILITY	February Utility Bill - 1811 Allouez	100-51600-222-00	60526	357.97
BELLEVUE WATER UTILITY	February Utility Bill - 3100 Eaton	100-51600-222-00	60526	582.90
BELLEVUE WATER UTILITY	February Utility Bill - E River Trail Parking Lot	100-55200-222-00	60526	44.10
BELLEVUE WATER UTILITY	February Utility Bill - Josten Park	100-55200-222-00	60526	328.53

Payee	Description	Invoice GL Account	Check Number	Amount
BELLEVUE WATER UTILITY	February Utility Bill - DeBroux Park	100-55200-222-00	60526	225.31
BELLEVUE WATER UTILITY	February Utility Bill - Willow Creek Park	100-55200-222-00	60526	99.38
BELLEVUE WATER UTILITY	February Utility Bill - Dog Park	100-55200-222-00	60526	53.85
BELLEVUE WATER UTILITY	February Utility Bill - Well #2	600-56230-222-00	60526	14.15
BELLEVUE WATER UTILITY	February Utility Bill - Continental Water Tower	600-56230-222-00	60526	9.90
BELLEVUE WATER UTILITY	February Utility Bill - Well #4	600-56230-222-00	60526	78.59
Total BELLEVUE WATER UTILITY:				2,525.59
<b>BLUE FROG</b>				
BLUE FROG	Overpayment on final utility bill - 2467 Bluestone Pl	600-11005-000-00	60527	25.89
Total BLUE FROG:				25.89
<b>BROWN COUNTY HIGHWAY COMMISSION</b>				
BROWN COUNTY HIGHWAY COMMISSION	CTH EA (Willow Rd to STH 29)	410-53315-820-94	60528	121.06
Total BROWN COUNTY HIGHWAY COMMISSION:				121.06
<b>BROWN COUNTY TREASURER</b>				
BROWN COUNTY TREASURER	Court Fines for February	100-45100	60529	590.00
Total BROWN COUNTY TREASURER:				590.00
<b>CDW GOVERNMENT</b>				
CDW GOVERNMENT	Computer monitor replacement - Street Superintendent	100-53311-810-00	60530	266.31
CDW GOVERNMENT	Headset for PW Admin. Assistant	290-53311-340-00	60530	34.22
Total CDW GOVERNMENT:				300.53
<b>COUNTY RESCUE SERVICES INC</b>				
COUNTY RESCUE SERVICES INC	Rescue Services for February	100-52300-290-00	60531	5,833.33
Total COUNTY RESCUE SERVICES INC:				5,833.33
<b>DORNER COMPANY</b>				
DORNER COMPANY	Rebuild PRV by Continental Water Tower	600-56730-290-00	60532	4,131.00
Total DORNER COMPANY:				4,131.00
<b>ENDERBY, SANDY</b>				
ENDERBY, SANDY	Refund rental deposit/fee - Community Center	100-46720	60533	184.00
ENDERBY, SANDY	Refund rental deposit/fee - Community Center	100-24213-000-00	60533	6.00
Total ENDERBY, SANDY:				190.00
<b>FESTIVAL FOODS</b>				
FESTIVAL FOODS	Operator's License cancelled for Milton Mungo	100-44121	60534	50.00
Total FESTIVAL FOODS:				50.00
<b>GREEN BAY SCHOOL DISTRICT</b>				
GREEN BAY SCHOOL DISTRICT	Mobile Home Taxes for January	100-24600-000-00	60535	13,353.10
Total GREEN BAY SCHOOL DISTRICT:				13,353.10
<b>HAVLICEK, JAMES</b>				
HAVLICEK, JAMES	Overpayment on final utility bill - 2787 Altair St	600-11005-000-00	60536	90.04

Payee	Description	Invoice GL Account	Check Number	Amount
Total HAVLICEK, JAMES:				90.04
<b>HOWARD, VILLAGE OF</b>				
HOWARD, VILLAGE OF	Animal Control/Humane Officer wages - January	100-52100-290-00	60537	300.59
HOWARD, VILLAGE OF	Animal Control/Humane Officer mileage - January	100-52100-330-00	60537	143.36
Total HOWARD, VILLAGE OF:				443.95
<b>JBS CARRIERS</b>				
JBS CARRIERS	Reimbursement for mailbox damaged by snow plow	100-53130-354-00	60538	75.00
Total JBS CARRIERS:				75.00
<b>KRUCZEK CONSTRUCTION INC</b>				
KRUCZEK CONSTRUCTION INC	Contract C-20 Pay Request #4 (Manitowoc Rd Sewer)	700-11070-000-95	60539	98,182.50
Total KRUCZEK CONSTRUCTION INC:				98,182.50
<b>MENARDS INC</b>				
MENARDS INC	Stud finder replacement	100-51600-351-00	60540	1.99
MENARDS INC	Office furniture hardware	100-51600-390-00	60540	13.10
MENARDS INC	Repair drain - 1811	100-51600-351-00	60540	17.96
MENARDS INC	Light replacements	100-51600-351-00	60540	46.55
MENARDS INC	Restroom door repair - 2828	100-51600-351-00	60540	20.71
Total MENARDS INC:				100.31
<b>MR. DOODY PET WASTE SERVICE</b>				
MR. DOODY PET WASTE SERVICE	Pet Waste Pickup (Dog Park) Feb.	100-55200-290-00	60541	300.00
Total MR. DOODY PET WASTE SERVICE:				300.00
<b>ORDAZ, EDUARDO</b>				
ORDAZ, EDUARDO	Refund rental deposit - Community Center	100-46720	60542	125.00
Total ORDAZ, EDUARDO:				125.00
<b>PACE ANALYTICAL SERVICES INC</b>				
PACE ANALYTICAL SERVICES INC	Well Nitrates	600-56420-290-00	60543	45.00
PACE ANALYTICAL SERVICES INC	Distribution Bacti Samples	600-56420-290-00	60543	120.00
PACE ANALYTICAL SERVICES INC	Distribution Bacti Samples	600-56420-290-00	60543	120.00
Total PACE ANALYTICAL SERVICES INC:				285.00
<b>STATE OF WI COURT FINES &amp; SURCHARGES</b>				
STATE OF WI COURT FINES & SURCHARGE	Court Fines for February	100-45100	60544	2,195.06
Total STATE OF WI COURT FINES & SURCHARGES:				2,195.06
<b>THEYS TRUCKING &amp; EXCAVATING INC</b>				
THEYS TRUCKING & EXCAVATING INC	34 Yards wash sand used for snow rack	100-53130-354-00	60545	510.00
Total THEYS TRUCKING & EXCAVATING INC:				510.00
<b>TWIRL SEWER SERVICE CO</b>				
TWIRL SEWER SERVICE CO	1811 Drain Cleaning	100-51600-290-00	60546	145.00

Payee	Description	Invoice GL Account	Check Number	Amount
Total TWIRL SEWER SERVICE CO:				145.00
<b>VICTORY SIGN LLC</b>				
VICTORY SIGN LLC	Village of Bellevue door decals - Vehicles	290-53312-352-00	60547	103.00
VICTORY SIGN LLC	Village of Bellevue door decals - Vehicles	290-53314-352-00	60547	103.00
Total VICTORY SIGN LLC:				206.00
<b>WALSH, JOHN &amp; KIM</b>				
WALSH, JOHN & KIM	Overpayment on final utility bill - 2965 Crab Apple Ln	600-11005-000-00	60548	66.57
Total WALSH, JOHN & KIM:				66.57
<b>WEBER BOWLING &amp; AWARDS</b>				
WEBER BOWLING & AWARDS	Name plate - Fire Chief	100-51100-390-00	60549	14.97
Total WEBER BOWLING & AWARDS:				14.97
<b>WISCONSIN SUPREME COURT</b>				
WISCONSIN SUPREME COURT	Continuing Judicial Education-R Metzler	100-51200-331-00	60550	700.00
Total WISCONSIN SUPREME COURT:				700.00
Grand Totals:				929,218.30

## Report Criteria:

Report type: GL detail

[Report].Check Number = 14806-14826,60514-60550

**REGULAR MEETING OF THE  
BELLEVUE BOARD OF TRUSTEES  
February 24, 2021 – 6:30 P.M.**

**A. CALL TO ORDER**

The February 24, 2021 regular meeting of the Bellevue Village Board was called to order at 6:30 p.m. by President Steve Soukup.

**B. PLEDGE OF ALLEGIANCE**

**C. ROLL CALL**

Roll Call taken as follows:

Present: Soukup, Gauthier, Kaster, Katers, Sinkler

Also Present: Diane Wessel, Karen Simons, Andrew Vissers, Adam Waszak, David Litton, Trevor Bilgo, Thad Majkowski, Ben Andrews, Other Interested Parties  
Public Count: 9

**D. AGENDA/AMEND AGENDA**

Motion made by Kaster, seconded by Katers to approve the Agenda as presented.  
MOTION UNANIMOUSLY APPROVED

**E. CONSENT AGENDA**

1. Approval of the Bills

Motion made by Gauthier, seconded by Kaster to approve the bills dated February 11<sup>th</sup> through February 26<sup>th</sup> in the amount of \$8,121,717.17.  
MOTION UNANIMOUSLY APPROVED

2. Approval of the Village Board Minutes:

a. Regular Meeting: 2/10/2021

Motion made by Gauthier, seconded by Kaster to approve the Regular Village Board Meeting Minutes of 2/10/2021 as presented.  
MOTION UNANIMOUSLY APPROVED

3. Treasurer's Report

Motion made by Gauthier, seconded by Kaster to accept the Treasurer's Report for January 2021.  
MOTION UNANIMOUSLY APPROVED

4. Operators Licenses

Motion made by Gauthier, seconded by Kaster to approve the following Operators' Licenses: Jessica L. Collard  
MOTION UNANIMOUSLY APPROVED

**F. PUBLIC HEARINGS**

1. Manitowoc Road Assessment Public Hearing – Consider the levy of special assessments under municipal police power pursuant to Sec. 66.0703 Wisconsin Statutes. Proposed assessments for the purposes of road

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

reconstruction, curb replacement, and storm sewer infrastructure to be levied against properties on Manitowoc Road (Allouez Avenue to Kewaunee Road). Resolution V-07-2021.

Karen Simons, Director of Finance/Clerk Treasurer, read the Notice of Public Hearing, stating that a Public Hearing is to be held this date, 02/24/2021 for the purpose of hearing public comment on the following governmental action:

Manitowoc Road Assessment Public Hearing – Consider the levy of special assessments under municipal police power pursuant to Sec. 66.0703 Wisconsin Statutes. Proposed assessments for the purposes of road reconstruction, curb replacement, and storm sewer infrastructure to be levied against properties on Manitowoc Road (Allouez Avenue to Kewaunee Road). Resolution V-07-2021.

Thad Majkowski explained this item pertains to the 2021 Manitowoc Road construction project special assessment public hearing. The project team includes Administrator Diane Wessel, Clerk/Treasurer Karen Simons, Assistant to the Administrator Ben Andrews, and Thad Majkowski, Project Manager/Interim Public Works Director.

Project Overview

The sanitary sewer and water main replacement and repairs were completed in Fall of 2020. The work to be completed in 2021 includes storm sewer repairs, box culvert extension to the east to accept sidewalk, roadway, sidewalk, driveway, and curb & gutter construction will be completed from Allouez Avenue to State Highway 29. It will include landscape restoration, pavement markings, and ultimately street tree construction completion in the right-of-way. A map was shown of the project area, with Majkowski pointing out areas of assessment, corner lots, and those ESA areas which were given property credits.

Majkowski explained the roadway will include two driving lanes (11'-12' wide), a parking lane (7 ½' wide), and two bike lanes (5' wide on each side). There is an area of Ontario Road that will have intersection reconstruction.

In addition, repairs will be done to the storm sewer at the box culvert which will be expanded on both sides to accept the sidewalk section. Manholes and inlets were inspected and will be adjusted to meet the new road grade, and any damage or failed sections of structures will be replaced.

Manitowoc Road is considered a collector. The Pedestrian Bicycle Plan, completed several years ago, determined that when the roadway was urbanized or repaired it would include sidewalks on both sides. Majkowski explained that sidewalks were designed to maximize the terrace width for snow storage and lessen the driveway impact. The terrace width is 7'.



VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

Staff also worked with the power company to place their poles. Sloping for yard drainage was reviewed and a plan made for flow. Cost for driveway slope correction is not in the project cost. Temporary construction easements were sent out and secured. The contractor and engineers have the right to go on properties to grade to match sidewalk sections.

As mentioned, street trees within the existing right-of-way will be removed by the contractor if in conflict with the proposed sidewalk. New trees will be planted along the street terrace per Village specification with the cost incorporated into the septic calculations. Existing encroachments within the right-of-way will be removed early by property owners who desire to do this. If not removed by the time the contractor starts, they will be removed. All property owners have been notified of encroachments that need to be taken care of prior to construction if they wish to save it.

Road/Curb Construction – To be more cost effective, a complete curb replacement will be done due to the patches required. Existing asphalt will be removed. The road base will be proof rolled for soft spots. Those found will be removed.

The plan profile shows work completed on Ontario Road. A traffic analysis was done and found stop lights or a roundabout were not warranted, however, a realignment was suggested and stop control on Ontario but not on Manitowoc.

Project Funding – The Wisconsin Local Road Improvement Project, STB Urban, has granted up to 80% of the construction and engineering to a maximum of \$7.2 million as approved in the SMA (State Municipal Agreement). This number has been reduced due to change in scope with the base. The Village will fund the project through the tax levy, the stormwater utility, and debt proceeds. The price to be supported by the Village includes storm sewer adjustments and box culvert repairs, yard drains, sidewalk construction including driveway aprons, and any slope correction on driveways on the property side for garage access.

Majkowski stated that construction exceeds the assessment and grant amount due to oversized roads, thickness of the base, including environmentally sensitive areas and corner lot credits (3). The estimated assessment includes road and curb assessment and trees.

Project Costs – Assessable construction cost - \$1.279 million; contingency (10% of \$1.279 million); engineering/inspection - \$341,958, for a sub-total of \$1.749 million, less the State Funding (STB Urban) - \$1, 23,000 524, less funding of \$725,000, trees – 203 trees @ \$600 each, for a total assessable cost of \$847,000. Total frontage from Allouez Avenue to State Highway 29 - 14,832 feet divided by 847 = \$57.14 per foot for residential. Non-residential assessable cost is more than residential as it is 4' wider, resulting in a larger cost per foot or \$59.10.

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

Project Assessment per foot (Ordinance 49.12) results in a cost of properties within the assessment, district considering the maximum rate cap per lot of \$7426.

Total Project Cost - \$2.8 million less STB Urban (sidewalk, driveways, etc. that were not assessed) less residential and non-residential assessments for a total Village Cost \$171,000.

Project Timeline - This project was identified in the 2014 CIP, Grant was written and awarded in 2016; engineering approved in May of 2017; The Board budgeted funding approval in 2018; finishing the design and submitting to the DOT in August 2020. The Wisconsin DOT bid the project in January of this year (2021). The Village Board passed a preliminary resolution in January of 2021 and mailed assessment information to property owners in February 2021. On February 17, a public question and answer meeting was held to discuss the project and assessment. At this meeting a special assessment public hearing will be held. Construction is proposed to begin in spring into the fall.

Updates & Contact Information

- Village Website will provide construction updates to keep public informed
- Social media including Facebook, Twitter, e-mail newsletters, etc.
- Village Office – 2828 Allouez Avenue
- Any questions by property owners can be directed to administrator Diane Wessel

Hearing Open to the Public

Jill Bielinski – 3110 Manitowoc Road

Stated she has lived at this address since 1988. She provided information she finds pertinent to the Public Hearing. There are 26 residents living on Manitowoc Road whose assessment will be estimated ranging from \$7,171 to \$15,825. She questioned whether property owners paying the least amount (\$4,471) use the road any less than those paying the most amount. Almost all of the parcels that have street frontage were built more than 40 years old. Should the property be penalized because they have a larger lot or should the Village not have allowed them to be platted as they were. She pointed out specific parcels that she feels have some issues and would like the Board to be aware. They include:

Parcel B-377-9 – 2905 Manitowoc Road – The frontage is listed at 243.29', less an ESA of 36' with an estimated assessment of \$11,845. The parcel is 26.9 acres with about half of it unbuildable due to ESA.

Parcel B-163-5 – 3031 Manitowoc Road - Frontage listed at 232.39' with an estimated assessment of \$13,279. The parcel is .51 acres with a Village owned retention pond directly behind it.

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

Parcel B-363-103 – 3079 Manitowoc Road – Frontage is listed at 184.18' and has an estimated assessment of \$10,524. This parcel is .368 acres.

The parcel directly next to the above - B-363-102 measures .359 acres but because of the normal cooker cutter sized lot, the assessment is estimated at \$6,002.

Bielinski stated the reason she brings this information forward is that not one is more exceptionally large than a standard lot, all being pie shaped with frontage on Manitowoc Road. As they are not normal square or rectangular shaped lots, she feels they are getting penalized.

In addition, Bielinski pointed out the following:

Parcel B-196-4 – 3134 Manitowoc Road, with frontage of 274.18' less 48' ESA, and an estimated assessment of \$12,923. This parcel is 1.28 acres but has approximately ½ unbuildable due to a creek.

Parcel B-196-6 - 3152 Manitowoc Road with frontage of 388.96' less 112' EAS with an assessment of \$15,825. The parcel is 2.63 acres, however, only about 1/3 is not in the ESA.

Many of these residents have already paid an assessment and now because they are not considered “homogenous”, she feels they are being penalized. They are not homogenous in size, however, they are in use. Again, she asked does anyone use the road more or less than the other. Bielinski opined that in all fairness, the method being used on this project should be reconsidered, asking how the price range of \$4,571 to \$15,800 can be justified.

Regarding alignment of Ontario, she pointed out there are four sides of a corner with one side not being assessed, another side being assessed only for Ontario, and a business and a home are being assessed on both sides of the street. She feels residents are being penalized for a road that should never have been constructed as it was. In her opinion, in all fairness, the Village or State should pay the cost of realigning the intersection rather than charging it back to the residents, finding it to be an undue hardship.

Ron Schultz -3089 Manitowoc Road – Stated that in 1995, he paid for sewer, water, and gutter, asking if at this time it would be considered maintenance, and why should he pay for sewer, water and gutter that he already has. Mr. Schultz also asked who he could contact for an additional garbage can so that he can pick up after construction workers who leave cigarette butts, water bottles, etc.

Kevin Kaminski – Stated he owns 5 rental properties on Manitowoc Road, 5 duplexes and 2 houses. They have owned the property for 20 years. He understands a study was done for sidewalk usage, stating that the results were not shared. Secondly, with regard to the speed on the roadway (35 mph) stated he had heard comments of heavy traffic, however, indicated he

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

has never had any problem pulling out of driveways and would like to see survey results. Lastly, Kaminski addressed the cost of trees at \$600 suggesting this could be cut in half if using a landscape company.

When asked about questions coming from the informational meeting that had been held, Adm. Wessel referred members to “frequently asked questions” provided in the staff report.

Jackie Krull – 2133 Palmer Court

Stated she is advocating for residential assessments to be done on a per lot basis versus a per foot basis. She opined that the per foot basis has taken residents by surprise and was unexpected. There was an understanding it would be per foot and it was agreed on, however, she feels there are unresolved issues associated with it. The action before the Board is to determine that parcels do meet general size use without consideration of frontage which will require a change in ordinance. She stated this will set a precedence for the future. If continuing with the per foot basis, she opined there will be a window of opportunity missed to set the record straight.

Holly Kaminski – 3215 Evergreen - She and her husband (Kevin who spoke above), reiterated that they own several rental properties in the area. She spoke to maintenance of sidewalks, suggesting they be put on only one side so that maintenance would be reduced.

Cindy Fonseca – 2809 Ontario Road – Asked if there was any other construction being done other than the alignment on Ontario Road in 2021. She commented that there are other people that use Ontario Road other than residents. She attended a Village meeting in 2018 and had the understanding that construction would be shared by all Village residents. She stated she does not understand why the cost of construction is being paid by residents only and not by all Village members.

Hearing Closed to the Public

President Soukup addressed questions presented during the above presentation:

1. Ontario Corner – When asked if the road was kept the way it is and not straightened, if assessments would be different. T. Majkowski stated that in general the cost may go down some but when considering the magnitude of \$2.8 million, it will not make a large difference. With regard to what work is being done on Ontario Road, stated that the same work being done on Ontario is also being done on Manitowoc – asphalt will be removed, base course removed and excavated, new base course to the standard section, new curb/gutter, and also landscape restoring.

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

Majkowski stated businesses were contacted 2-3 years ago, a study was done and publicized over the last 3 years that construction was pending although the extent of the project was not known at that time.

2. Sewer Maintenance – T. Majkowski explained that the sanitary sewer and water main was constructed many years ago. It was extended in 1995 to remove the lift station. The work that has been done was paid 100% by the Village. None of the sanitary water main work was assessed to property owners for mainline. If there was a failing lateral, it was residential cost. The storm sewer, curb & gutter and asphalt pavement work was done in 1995 and assessed to property owners (26 years later). They are being assessed again for the roadway, not for sidewalk.
3. Professional Conduct of Construction Crew – Soukup stated he is aware that when there was construction on his street, a crew member used the outside of his truck as a bathroom. He asked that any incidents of this type be reported to staff or Board members. Majkowski stated there will be observation on this issue through the DOT. He did point out that all construction workers are required to have all necessary facilities and keep a clean site.
4. Sidewalks and Usage – Soukup stated that dollars received from the State are required to be used for sidewalk usage through the Safe Route to Schools Program. There are several streets in the Village that have sidewalk on only one side, however, when there are mandates for grants the Village needs to follow the requirements.

T. Majkowski further explained that when a grant application is submitted, all points are calculated and the municipality with the highest points gets the money. If rules are not followed, there is no funding. This grant included a multi-modal component – sidewalks and bike lanes on both sides. An adjustment was made for parking by offsetting the center line of the road and allow parking on one side.

5. Speed Limit– Soukup asked about the speed limit on Manitowoc Road, noting that Board members would like to see it lowered. Majkowski stated this road is classified as a collector road, therefore, is considered a high traffic volume road.
6. Purchase of Trees – It was explained that purchase of trees at \$600 each is less than the three-year planting average. Diameter is a 2 to 2 ½ caliber, 8' feet tall, with maintenance provided by the Village.

Adm. Wessel – Stated that average daily traffic on the DOT website related to Manitowoc Road is from 1,800 to 9,100 (2009)

Trustee Katers – Stated he agrees with many of the residents who spoke to the method of assessment, feeling there should be a cap for all single-family residents

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

along Manitowoc Road. He indicated that the Board and staff have spent almost 5 years comparing assessment methods, funding sources, analysis sources, not including the per foot method as it had not previously been used. He addressed the creation of wheel tax stating that no subdivision or roadway is perfectly homogenous which has resulted in steering away from the per foot methods for residential lots. The last residential project assessed by the per foot method was in 2019 (Huron Road), however, it was also a state funded project that saw residential at assessment totals of \$3,000 to \$4,000. Prior to that, it was Lime Kiln in 2014 which was and still is largely undeveloped. Whether there is funding or not, Gauthier stated he does not feel it has been established that wheel tax cannot be used. He is not a fan of the per foot method for this use and struggles with the difference in assessments, when all residents use the road. He would like to have been a part of the decision for the per foot method, however, this project came before the Board fast.

President Soukup – Stated it was his idea to set a cap noting that over the years road project costs have become unbelievable. He felt that by going per lot, it would be fair and equitable. Lots in the project area range from 142' up to 400', thus finding a difference in the street frontage and the reason to use the per lot option. He asked if the area would be maxed and the Village would lean toward the per lot method, would everyone pay \$7,400 or less on the 99 lots.

Adm. Wessel responded to this question, stating that it was reviewed. If the \$7,400 assessment cap was used, the Village would pick up the excess. When asked the excess, Wessel was unsure. She stated that the 66 lots that are paying less than \$7,400 would be increased to reduce the 16 that are above that.

Soukup explained this is the dilemma the Board has. Trustee Katers indicated that it goes beyond that too, asking if there may be a hybrid option available as well. Soukup stated that best case scenario would be to cap the larger lots at a certain amount, leave those with lower assessments remaining. This option, however, is not available in Village ordinance, it is either per lot or per foot.

Trustee Gauthier stated that by ordinance the per lot assessment requires any business to be assessed by the foot, and those residential lots with 160' or more frontage, after ESA credits, would be assessed as 2 lots. The average lot is 80' wide.

Trustee Kaster stated the ordinance was changed with the idea that everyone uses the road the same.

Adm. Wessel stated that based on ordinance, per lot assessments were not allowed for reconstruction projects until 2019.

Trustee Gauthier asked if this project is considered a reconstruction, nothing that Majkowski had alluded to this – “remove the top layer, check the base, and fix the soft spots”.

Adm. Wessel read ordinance language related to reconstruction.

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

Majkowski stated the project is considered a hybrid which will remove all curb and gutter, and all driveways. If there are areas of the road that are failing they will be removed, taking asphalt off and tire rolling it. He explained the maximum per foot cost was based on 80' of \$7,400. Reconditioning was \$6,500 with an escalator coming to \$6,800. Dividing by 80 comes to the \$80 range, noting that assessments are less than \$60 not exceeding the limit.

Trustee Katers agreed that if using a per foot method the maximum is not being exceeded, however, there was never discussion of maximizing the per foot method with regard to residential.

Adm. Wessel disagreed, pointing out there was discussion of providing a maximum for per foot residential assessment in 2019. At that time, Ordinance O-2019-03 updated Section 1 and 2 of 49-12 and states that "The maximum per foot assessment rate for residential zoned properties only shall be equal to the maximum per lot assessment for that type of improvement as calculated under Section 49-12-B divided by 80' per lot."

When looking at Village code, President Soukup, noted that subsection A (per foot), and subsection B (per lot), also has option C which covers alternative methods, not withstanding subsections A & B. "The Village Board may specify an alternative method of computing the amount of assessments to be levied when in its judgment such alternative methods would produce assessments that are more equitable than in calculating using either of the foregoing methods."

Soukup stated that per the above there is flexibility, however, whatever is done the cost may come back to the taxpayers in some way.

Trustee Kaster referred to available credits, asking if they will change dependent on which method is used – A, B, or C.

Majkowski explained that per ordinance the ESA's will stay, while the corner lot credits will go away. It is difficult to determine the exact lot cost as there are other items that come into play that change value.

Trustee Kaster stated if using the per lot method on Manitowoc Road and the per lot method was chosen in the future on Ontario, asked if corner lots would be charged for a lot on Ontario and on Manitowoc Road, with no half lot credits on either one. Majkowski indicated this would be an item of discussion as one side is heavy industry and would be done per foot. Another lot will have right-of-way completed in the present project and will not be part of any work toward Main Street and not part of assessment. He also explained that the lot on the east side of the road is proposed to be a full lot and not assessed as there is 5 to 6' left of their property so would not be assessed in any Ontario Road improvement. The other side was not assessed for Ontario Road and a decision will need to make as to whether they should pay half now or pay later.

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

Kaster asked if a decision is not made at this meeting how it will affect the project. Adm. Wessel stated it would not, except that public notice would need to be given prior to the next Board meeting. Kaster stated he is not looking to pass any costs on to the general tax role, would like to have a cap and use the wheel tax for any overage.

Adm. Wessel indicated that the problem with that idea is that there are two other projects – Guns and Moonrise. There is no grant funding available for Moonrise as it is a local street and not eligible and will likely be over the per lot cap. Wessel added that if a hybrid is chosen, there will need to very clear criteria as to why a different method was chosen so that it is defensible.

When looking at the numbers and what would be fair and equitable, Soukup stated that if an alternative is chosen and the 16 to 17 residential lots are capped, the Village would need to come up with \$65,000. This could come out of the approximately \$240,000 wheel tax account balance. Everyone else would pay what has been discussed.

There was some question as to the 16-17 lot number. When asked how soon exact numbers could be reported to the Board, Majkowski said 2 to 3 days or by the beginning of next week.

Kaster also referred to larger lots that may be split or may be eligible for ESA credits.

With regard to the cap of \$7,000 approved in 2019, Trustee Gauthier recalled there was a very specific national highway transportation committee cost adjustment to make. Adm. Wessel explained that the language in the ordinance was not used and instead the language in the ordinance states, “. . . the construction inflationary factor for the previous year in the Brown County Wisconsin area”. Wessel indicated she was unable to find the “Brown County Wisconsin construction inflationary factor”, so instead used 3%, from the standard consumer price index.

When asked by President Soukup his thoughts, Trustee Sinkler stated that from the beginning he thought there should be a hybrid solution sought, using both the per foot and per lot scenarios.

Trustee Kaster asked for clarification of credits in an ESA area. Adm. Wessel responded that the ESA portion is not buildable and therefore not included.

Trustee Katers clarified that the initial option is per lot for single family residential with wheel tax covering the remainder. Single family is defined by ordinance as R1/R2 and under \$7,500.

Kaster stated he would like to see a cap of \$7,000 used (this would require ordinance change). Soukup indicated there should be some type of escalator, suggesting 3%. Trustee Katers indicated he would like to see wheel tax used and Kaster agreed.



VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

Trustee Sinkler stated that if wheel tax is used for this project, it should not overextend others.

Setting a cap is set at \$7,426 would mean that \$6,500 would not be charged to residential property owners and could be covered by wheel tax. He would find this a good alternative method which would benefit 66 residential families.

Adm. Wessel referred to a motion in made in January of 2019 "to set a special assessment policy ordinance allowing for a subsidy with a cap of \$6,500 for resurfacing, \$7,000 for reconstruction to be adjusted each year by an inflation factor for residential areas". This motion was approved 4-1.

Motion made by Soukup, seconded by Katers to approve an alternative method and go with assessments on a per foot basis with anything over \$7,426 capped for residential only (R-1/R-2), funded with wheel tax to make up the difference.

Ayes: Soukup, Kaster, Sinkler, Katers

Nays: Sinkler

MOTION APPROVED 4-1

**G. PUBLIC COMMENT - None**

**H. PRESENTATIONS**

1. Public Engagement Opportunities:
  - a. Citizen's Academy  
None.
  - b. Committee Vacancies  
President Soukup informed the Board that he has two candidates that are interested. He will be reporting to the Board with their names in the near future.

**I. COMMUNICATIONS – None**

**J. BROWN COUNTY REPORT**

Dave Kaster had no report at this time.

**K. OLD BUSINESS**

1. Discussion/Possible Action: Firefighter Recognition  
Adm. Wessel explained that this item was on the agenda of the January 27<sup>th</sup> Board meeting at the request of Trustee Gauthier. At that meeting, the Board directed staff to bring the item back in a month.

At this time, Trustee Gauthier asked it be put on the next agenda.

2. Discussion/Possible Action: Green Bay Metro Fire Department Advisory Group Appointment Appointments:

Village President Soukup stated he had four individuals interested in serving on this advisory group. He recommended the following Green Bay Metro Fire Advisory Group members for appointment as follows:

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

- John Sinkler – Bellevue Village Board Trustee
- Brad Muller - Former Village of Bellevue Fire Chief

The other two individuals will serve on other committees.

Motion made by Kaster, seconded by Gauthier to approve appointments to the Green Bat Metro Fire Advisory Group as follows:

- John Sinkler – Bellevue Village Board Trustee
- Brad Muller - Former Village of Bellevue Fire Chief

MOTION UNANIMOUSLY APPROVED

**L. NEW BUSINESS**

1. Discussion/Possible Action: Stormwater Engineering and Consulting Services

Thad Majkowski explained that the Village of Bellevue holds a Municipal Separate Storm Sewer System (MS4) permit and is subject to the regulations of the Lower Fox River Basin Total Maximum Daily Load (TMDL). The Village must show continued progress in achieving MS4 and TMDL standards both to meet the Village's stormwater requirements and to increase competitiveness for the UNPS grant process. To meet MS4 permit and TMDL requirements, the Village applied for an Urban Non-Point Source (UNPS) grant in 2020 but was not awarded funds. The UNPS grant application process is again open for 2022.

The Letter of Authorization is to contract with Cedar Corporation to complete a study to determine feasibility of stormwater facility locations and to complete a UNPS grant application on behalf of the Village of Bellevue.

Fiscal Impact:

\$33,700 - \$35,800 - Stormwater Facility Location Feasibility Study:  
\$ 3,900 - UNPS Grant Application

Motion made by Katers, seconded by Sinkler to authorize the Administrator to execute the Letter of Authorization for services as presented.

MOTION UNANIMOUSLY APPROVED

2. Discussion/Possible Action: Repeal Storm Water Credits: Ordinance O-2021-04

Adm. Wessel explained that the purpose of stormwater credits is to incentive property owners to reduce stormwater and/or improve stormwater quality. By doing so, property owners assist the Village in meeting stormwater performance standards, thus reducing the stormwater utility's cost to meet its obligated standards. Current standards that the Village and property owners must meet exceeds the standards for credits, thereby negating the purpose of the credits.

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

In September 2020, V-27-2020 established a moratorium on stormwater utility credits in order to review the current program, cost, and standards. It was determined that current performance standards (S400-46) are higher than what is required for granting credits (S400-6 C 1). Therefore, the basis for credits has materially changed and the Administrator is authorized under S406 D to repeal existing stormwater credits with 30 day notice. Impact on residents, staff, and Village is approximately \$80,000 in lost revenues to the stormwater utility.

On February 10<sup>th</sup>, the Board passed a motion to direct staff to draft an ordinance repealing section 400-6 of the Bellevue Code of Ordinances (stormwater credits). The Board's direction was to sunset existing credits on December 31, 2021 to provide adequate notice.

Upon approval of Ordinance O-2021-04, the Administrator will provide a written Notice of Revocation to property owners currently getting credits informing them that no further credits will be issued. Wessel indicated she has discussed this matter with legal counsel who has agreed this is the appropriate course of action.

Trustee Kaster stated he did not realize the impact was \$80,000. Wessel stated that at the last meeting, she did not provide the correct figure which was re-calculated since that time.

Kaster opined it would be better to leave the credits and have those residents receiving them do what they are supposed to do.

When asked by Trustee Sinkler if the Village did not have the staff to enforce the credits, Wessel indicated that they will be doing it anyway in order to meet stormwater requirements.

Soukup clarified that many of the stormwater procedures are not being done. Majkowski indicated that staff has been working with property owners on maintenance agreements. He added that there definitely are some stormwater utilities not being maintained as they should be.

Motion made by Gauthier, seconded by Katers to approve Ordinance O-2021-04, repealing Section 400-6 and amending section 400-9 Village of Bellevue Municipal Code relating to stormwater credits.

Ayes: Gauthier, Katers, Sinkler, Soukup

Nays: Kaster

MOTION APPROVED 4-1

3. Discussion/Possible Action: Supporting the Creation of a New Water Municipal Committee. Resolution V-09-2021

Adm. Wessel explained that the Village of Suamico Board has directed Administration to explore opportunities to collaborate with NEW Water municipal members to gain representation on NEW Water's Board of

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

Commissioners. The Village of Suamico Board adopted a resolution supporting the creation of a NEW Water Municipal Committee at their February 15<sup>th</sup> Board meeting.

The Green Bay Area Metropolitan Sewerage District (NEW Water) is governed by a five member commission appointed by the County Board of Supervisors for 5-year terms. The current commission members have backgrounds in manufacturing, finance, engineering, and utilities. Municipal customers source over 80% of NEW Water's revenues but do not have direct representation on NEW Water's governing body. Similar Brown County entities (Central Brown County Water Authority, Room Tax Commission) were established with direct municipal representation.

Options are to create a committee or representatives of each NEW Water Municipality. The municipal committee would select a candidate and request that Brown County appoint the candidate to the next opening of the NEW Water Commission (4<sup>th</sup> quarter, 2021).

An alternative to the above is to change Wis. Stats. 200.09 to modify the NEW Water governing body structure and process. Fiscal impact is staff resource time to serve on the NEW Water Municipal Committee.

Trustee Kaster explained that the County Board approves appointments made by the County Executive. He feels that the creation of a municipal committee is a good idea as rates have been climbing.

Wessel stated that appointments are for 5 years with the next opening in the 4<sup>th</sup> quarter of this year. Kaster indicated there is only an opening if a member does not wish to be on the committee any longer. Such person can be reappointed after 5 years if that is what they wish and it is approved by the County Executive, meaning there might not be an opening.

Motion made by Gauthier, seconded by Katers to approve Resolution V-09-2021, a Resolution supporting the creation of a New Water Municipal Committee.

**MOTION UNANIMOUSLY APPROVED**

Adm. Wessel stated a second motion is needed to appoint a representative from the Village of Bellevue to the NEW Water Municipal Committee. When asked her recommendation, Wessel indicated that other municipalities are choosing either the Public Works Director or the Administrator. At this time most municipalities have chosen their Public Works Director and having the Administrator would provide some adversity.

Motion made by Soukup, seconded by Gauthier to appoint Village of Bellevue Administrator, Diane Wessel, to the NEW Water Municipal Committee as the representative for the Village of Bellevue.

**MOTION UNANIMOUSLY APPROVED**

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

4. Discussion/Possible Action: Authorizing the Renaming a portion of Lazy Oak Drive to Lazy Oak Court.  
Resolution V-08-2021

Andrew Vissers explained that the Whispering Willow Sixth Addition Final Plat was recorded in 2012. At that time, there was a portion of right-of-way dedicated for a future street identified as Lazy Oak Drive. Lazy Oak Drive was intended to head east from Ontario Road and intersect with a northbound and southbound cul-de-sac identified as Lazy Oak Court (as seen on the Recorded Whispering Willow Sixth Addition Plat).

Through 2019 and 2020, a number of development action items amended the future street layout, eliminating the future northern leg of Lazy Oak Court and creating one street with no intersection ending in a cul-de-sac. As part of the Whispering Willow Seventh Addition Plat, the entire stretch was proposed to be named as Lazy Oak Court.

To officially take this action, the Village must pass a resolution renaming this section identified as Lazy Oak Drive to Lazy Oak Court. Staff is supportive of this request as the "court" designation is used for streets that are dead ends where the term "drive" is designated for long streets per the Village of Bellevue Subdivision Code General Requirements and Design Standards of Subdivisions Section 410-3. In addition, no residents or structures currently exist on this stretch, so renaming it will have no impact to anyone.

Motion made by Katers, seconded by Kaster to approve the renaming of the section of Lazy Oak Drive to Lazy Oak Court located within the Whispering Willow Seventh Addition Subdivision.

**MOTION UNANIMOUSLY APPROVED**

5. Discussion/Possible Action: Boundary Agreement Discussions with Ledgeview

Administrator, Wessel reported that she has been meeting regularly with the Ledgeview Administrator to maintain communication channels and increase collaboration. Initial discussions have resulted in a possible border agreement in the future. Before this idea is explored further, staff is reviewing with respective boards to gauge interest.

A motion is requested as to whether the Board is interested in exploring a boundary agreement with the Town of Ledgeview.

President Soukup asked if there is a benefit to Bellevue to have a boundary agreement with Ledgeview and was told not really. He recalled that when discussed in the past, discussions did not go well.

As there is no interest in exploring a boundary agreement with the Town of Ledgeview, no motion is necessary.

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

6. Discussion/Possible Action: Committee Member/Volunteer Stipend  
Adm. Wessel provided the following information at the request of Trustee Kaster & Trustee Gauthier at the February 10 Board meeting related to committee member/volunteer stipend.

Communities with no Stipend:  
DePere, Wrightstown, Howard (proposing for Plan Commission),  
Ashwaubenon

\$15 meeting - Lawrence  
\$25 meeting - Suamico  
\$30 meeting - Suamico Chair  
\$25 meeting - Ledgeview (Planning & Zoning only)

President Soukup stated if there is interest in offering committee member/volunteer stipends, it will need to be included in the 2022 budget.

Trustee Katers recalled his service on the Site Plan Review Commission for over 10 years. He stated that each year a recognition dinner was held which he found fulfilling. He does like the idea of an appreciation dinner for committee members and volunteers.

A request was made to include this item in budget discussions for 2022.

**M. STAFF REPORTS**

- Thad Majkowski  
- Bellevue Lions Club rose sale in March.

**N. BOARD COMMENTS**

- Trustee Gauthier  
- Stated he would like to see the mini excavator at the Village offices and the trailer on Manitowoc Road and Klondike to be moved. Asked that Majkowski talk to the contractor with this request.

- Trustee Katers  
- Asked for discussion on the sunset of wheel tax on a future agenda. Adm. Wessel stated this topic has been on the calendar.

- Trustee Kaster  
- Referred to comments from two residents who stated they received a communication from the Village that they were not allowed to fly political flags on their property. Trevor Bilgo explained they have been working on a situation where the resident was displaying "vulgar language" associated with a political sign/flag. No letters have been sent by the Sheriff's Department. Mr. Vissers added that staff has had conversations with residents due to neighbor complaints, however, there is nothing the Village can do about it and no letters have been sent.

VILLAGE OF BELLEVUE  
REGULAR BI-MONTHLY MEETING  
FEBRUARY 24, 2021

President Soukup

- Asked if there have been any issues on Klondike Road/Main Street with truck access to the Green Bay Country Club. Bilgo responded there have been no issues he is aware of.

**O. MATTERS TO BE PLACED ON NEXT AGENDA**

- Adm. Wessel stated that in light of a change of assessments for Manitowoc Road to be discussed at the next meeting suggested that the Guns Road and Moonrise Court public hearing be postponed from March 10<sup>th</sup> to the 24<sup>th</sup>.

**P. CLOSED SESSION**

1. Property Acquisition – Per Wisconsin State Statutes 19.85 (1)(e), the Board may move to Closed Session when deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a Closed Session.

Motion made by Gauthier, seconded by Katers to move into Closed Session. Roll Call: Soukup, Gauthier, Kaster, Katers, Sinkler  
MOTION UNANIMOUSLY APPROVED

Motion made by Gauthier, seconded by Katers to return to regular order of business. Roll Call: Soukup, Gauthier, Kaster, Katers, Sinkler  
MOTION UNANIMOUSLY APPROVED

**Q. ADJOURNMENT**

Motion made by Gauthier, seconded by Katers to adjourn at 9:15 p.m.  
MOTION UNANIMOUSLY APPROVED

Next Regular Meeting: Wednesday, March 10, 2021

Respectfully submitted,

Karen M. Simons  
Director of Finance/Clerk Treasurer

Rae G. Knippel  
Transcription

**Village of Bellevue – Plan Commission**

Pursuant to Section 19.84 Wis. Stats., a scheduled regular meeting of the Village of Bellevue – Plan Commission was held on Tuesday, February 16, 2021 at 6:00 p.m. at the Bellevue Village Hall/Public Safety Building – 3100 Eaton Road, Green Bay, WI

---

**ROLL CALL:**

Steve Soukup, Chairman	x	Greg Layton	Excused
Paul Hamachek , Vice Chair/Secretary	x	Cisco Rosales	x (Remote)
Paul Carron	x	Mark Roznowski	x
Mark Janowski	x		

Also Present: Andrew J. Vissers – Community Development Director, Ryan Van Straten (Remote), Jackie Krull, and other interested parties

**I. 6:00 P.M. CALL REGULAR MEETING TO ORDER:**

The meeting was called to order by Chairman Soukup at 6:00 p.m.

**1. Pledge of Allegiance**

**2. Approval of Agenda:**

**Moved by P. Hamachek, seconded by M. Roznowski to approve the agenda.**

**MOTION UNANIMOUSLY APPROVED**

**II. CONSENT ITEMS:**

These items consist of non-controversial or “housekeeping” items required by law. Any Commission member making such request prior to a motion and vote on the Consent items may consider items individually.

**3. Consider/Discuss/Act on the Minutes of the January 19, 2021 Plan Commission Meeting.**

**Moved by P. Carron, seconded by M. Roznowski to approve the minutes.**

**MOTION UNANIMOUSLY APPROVED**

**III. REGULAR ITEMS:**

**NEW BUSINESS:**

**4. PDD 2021-0002 - Consider/Discuss/Act on the request by Ryan Van Straten, Alliance Management, Applicant, on behalf of Robert & Erin Hoekstra, owner, to establish a Preliminary Planned Development District (PDD) for a mixture of a 138-unit addition to the Crystal Lake Apartment Development and Single-Family Residential Lots located on the north side of Hoffman Road (County Highway XX), approximately 430 feet west of Bellevue Street (County Highway XX), Parcels B-296 & B-300.**

A. Vissers stated the submitted request includes approximately 25.3 acres between 2 parcels. The proposed use is a 138-unit multi-family development which equates to approximately 7.6 units per acre for the area identified as multi-family. The remaining portion will be identified for future single-



family development and a lot for an existing single-family dwelling. The development also proposes a possible resident use parking lot for proximity to the East River Trail nearest to the Village owned parcel on Hoffman Road identified as a future trailhead location. This could be possibly dedicated or acquired by the Village in the future. There will be continued discussions that staff and the applicant hope to clear up prior to submission of the Final PDD.

A. Vissers indicated that the existing Crystal Lake development has 238 units. The additional 138 proposed units would bring the total unit count for the complex to 376 units.

The proposed 138 units would be made up of the following:

- 46 one bedroom plus den units at 900 sf with a detached garage
- 46 two bedroom/two bath first floor units at 1,250 sf and an attached 2-stall garage
- 46 three bedroom/two bath upper floor units at 1,473 sf with an attached and a detached garage

A. Vissers continued that the complex would continue to take the primary access off of Bellevue Street (County Highway XX) through its existing main entrance. There is shown an access point to Hoffman Road (County Highway XX) on the plan. There is also an emergency access only entrance off of Bellevue Street (County Highway XX) on the northern side of the development. The Green Bay Metro Fire Department (see attached comments) indicated that will need to remain intact. Any proposal to modify the access or restrict access at this point will need review and approval by the Green Bay Metro Fire Department.

A. Vissers stated as this is the “vision” step of the PDD process, staff is looking at bigger picture items rather than a more thorough review that will take place in the final PDD application review and site plan review process. In the review, staff was able to identify the following items we have listed as conditions that will need to be addressed, if the project continues forward.

- As part of Chapter 500-1600 Multi-Family Development Standards of the Village of Bellevue Zoning Ordinance, there are 3 steps with minimum percentages of architectural materials and corresponding architectural elements for utilizing less masonry and more siding. The current structures within Crystal Lake were developed prior to the Multi-Family Development Standards being adopted by the Village of Bellevue. Therefore, the current buildings do not necessarily meet the architectural step requirements found within the Zoning Ordinance in regard to materials. Much like commercial and industrial developments that construct additions to existing buildings, we allow those additions to match the existing materials (permitted or not) in order to not appear tacked on or drastically different. Although this proposal is not a true addition, it is an extension of an existing overall development. The proposed buildings are similar in design to a development that is/being constructed in Howard in which the materials are a mixture of brick and LP siding (engineered wood). Staff feels the design is appropriate and will complement the existing structures within the development while at the same time having a unique appearance. Staff recommends that the applicant provide a more detailed material percentage breakdown with submission of a Final PDD for the various building elevations.
- As part of the Building Design section of Chapter 500-1600 Multi-Family Development Standards of the Village of Bellevue Zoning Ordinance, there is a requirement to provide patios or balconies with roofs. The applicant has identified that some units will have a 2<sup>nd</sup> floor balcony on a 3-story side (but still be the same unit on both the 2<sup>nd</sup> and 3<sup>rd</sup> floors) and placing a roof over the balcony will appear “tacked” on and take away from the visual perspective. This requirement for cover is for the convenience of the resident to utilize that space in inclement weather but is not a necessary structural component. Many high-end multi-family developments in the area have exposed balconies, so staff is supportive of this requested deviation.
- The R-3 – Multi-Family Residential District has a maximum building height of 35’. The Zoning Code defines building height as:

*The vertical distance measured from the curb level to the mid-height of the roof surface on a flat roof, to the deck line of mansard roofs, and to the mean height level between eaves and ridge for gable, hip, and gambrel roofs. For buildings set back from the street line, the height of the building may be measured from the average elevation of the finished grade along the front of the building, provided its distance from the street line is not less than the height of such grade above the established curb level.*

The measurement from the ground to the top of the ridge on the 3-story development is proposed to be 38'. Instead of measuring each building from the average finished grade, staff proposes allowing a maximum 3-story building height of 40'. Staff does not feel that the 5' difference would be noticeable to most and would likely eliminate the need to come back and request a possible future PDD Amendment for a minor deviation. The buildings themselves are setback a considerable distance from any existing adjacent single-family dwellings.

- Staff will be having discussion regarding a possible land dedication or possible future acquisition of parking facilities for the proposed trailhead location at the northeast corner of the East River and Hoffman Road (County Highway XX). The Village Comprehensive Outdoor Recreation Plan identifies this area as a future park and possible trailhead as the Village currently owns property along the East River for the current and future locations of the East River Trail. The applicant is considering the possible construction of a parking lot along Hoffman Road that would initially serve the Crystal Lake residents to drive and park and then walk across the bridge to the trail system in Allouez. In the future if the trail is expanded into Bellevue in this area and the park was developed, the parking lot could possibly be acquired by the Village. Also, there will be discussion about other land dedication as well. Staff will continue these discussions with the Parks, Recreation and Forestry Director, and then with the Park Commission and Village Board if they proceed in an agreeable manner.
- As the Letter of Intent indicates, the current Crystal Lake and Crystal Cove Apartments are on two different lots under two ownership titles. If the proposed parcels for the 90-unit pod and 48-unit pod do not have the required minimum frontage on a dedicated right-of-way, that will have to be included in the Final PDD Ordinance.

A. Vissers stated that staff is recommending approval as conditioned in the staff report.

P. Carron mentioned the comments provided by the Green Bay Metro Fire Department were very comprehensive and detailed.

R. Van Straten gave an overview of the project from the developer's perspective.

P. Carron questioned the building materials and if they matched the existing Crystal Lake buildings.

R. Van Straten stated they are not identical but there are design elements that are carried through the entire development (existing and proposed) that will tie it together.

**Motion made by M. Janowski and seconded by P. Hamachek to recommend approval of the proposed Preliminary Planned Development District (PDD 2021-0002) subject to the following conditions:**

- 1. A Final PDD shall be submitted for review and approval by the Village Board within a year of approval of the Preliminary PDD.**
- 2. The underlying zoning of the area designated as Single-Family shall comply with the R-1 – Single-Family Residential District standards except for the deviations approved within the Final PDD.**

3. The underlying zoning of the area designated as Multi-Family shall comply with the R-3 – Multi-Family Residential District standards except for the deviations approved within the Final PDD.
4. Submission, review and approval of a proposed Site Plan for the multi-family component in conformance with the Physical Development Standards (Chapter 500-1700) and Multi-Family Development Standards (Chapter 500-1600) including, but not limited to architectural, lighting, landscaping, parking, stormwater management, grading & drainage, utilities, etc.
5. The applicant shall submit an elevation exhibit for all buildings (apartments and detached garages) showing materials percentage for the Final PDD.
6. Submission, approval and recording of a suitable Land Division defining the lots for the multi-family and the existing and future single-family lots.
7. Review and approval of the proposed drive access to Hoffman Road (County Highway XX) by Brown County Highway Department and the Green Bay Metro Fire Department.
8. Approval of elimination of the minimum required frontages on an improved roadway for the multi-family lots.
9. Provide the Village with a Management operational plan with the Final PDD.

**MOTION UNANIMOUSLY APPROVED (6-0)**

**IV. OTHER:**

5. **Matters from the Public:** None
6. **Director's Update:** A. Vissers gave a status of recent projects going on around the Village and recent actions of the Village Board on Plan Commission items.
7. **Next Scheduled Meeting – Tuesday, March 16, 2021**

**V. ADJOURN:**

**Motion made by P. Hamachek and seconded by P. Carron to adjourn at 6:43 p.m.**

**MOTION UNANIMOUSLY APPROVED (6-0)**

Respectfully submitted,

Approved Date: \_\_\_\_\_

Andrew J. Vissers  
Recording Secretary



# MEMORANDUM

Date: March 4, 2021

---

**To:** Diane Wessel, Village Administrator  
**Cc:** Village Board  
**Fm:** Karen Simons, Director of Finance/Clerk-Treasurer  
**Re:** **OPERATOR'S LICENSES**

---

Please review the following for approval for an operator's license within the Village of Bellevue:

Duff, Margaret M.  
Forstner, Tara J.  
Foust, Chloe A.  
Jerovetz, Ryan S.  
Koch, Karri L.  
Kopidlansky, Conner P.  
Reed, Raelee E.  
Rymer, Erika J.  
Spencer, Benjamin J.

KMS



**Village of Bellevue  
Engineer's Report  
March 10, 2020**

**A. Contract B18 – TID #1 Phase 2 Construction**

The Village has authorized Cedar Corp to complete Preliminary Engineering, Final Design and Bidding services for the TID #1 Phase 2 Town Hall Road Extension. The improvements will be from Lime Kiln Road to Monroe Road including sanitary sewer, water main, storm water management and sewer, lighting, roadway with three intersections and traffic control devices, as required.

The Final Design is 95% completed at this time with the Bid Opening on hold and to be authorized by staff.

Construction to start upon authorization and completed based on the work proposed.

Action: Informational.

**B. Contract A20 – 2020 Willow Rd – Roadway/Sidewalk/Storm Sewer Construction ON HOLD**

The 2020 Project was approved by the Village Board to reconstruct the roadway due to the failing conditions, sidewalk on both sides and storm sewer based on the proposed improvements. The Project area is from South Huron Road to the east approximately 1,300 feet.

The Design – Bidding – Construction Phases have been placed ON HOLD at the April 22, 2020 Village Board Meeting until further notice.

Action: Informational.

**C. Contract C20 - 2020 Sanitary Sewer/Water Main Reconstruction – Manitowoc Rd Allouez Ave to STH 29**

Kruczek Construction Co.	\$1,251,817.50
Pay Request No. 4	\$98,182.50

The 2020 Project was approved by the Village Board to reconstruct the sanitary sewer and water main and laterals due to the failing conditions. The Project area is from Allouez Avenue to STH 29.

The Design and Bid Phase are completed.

The Construction Phase open cut construction is completed and the cured in place pipe is completed.

The replacement of the 14" Water Main from Allouez Avenue to Klondike Road is completed.

Some punch list items remain.

**Action: Approve Pay Request No. 4.**



**D. Contract A21 - 2021 Roadway/Sidewalk/Culvert**

**Sanitary Sewer/Water Main Reconstruction – Guns Street**

The 2021 Project was approved by the Village Board to reconstruct the roadway, culvert, sanitary sewer and water main and laterals due to the failing conditions. Also, include the new sidewalk construction. The Project area is from Verlin Road to the City Limits.

The Design Phase is completed.

The Bid Opening was completed and bids reviewed. The Bid Analysis will be provided at the March 24<sup>th</sup>, 2021 Village Board Meeting.

Assessment Phase to be completed as follows:

Preliminary Resolution	February 10 <sup>th</sup> a, 2021 Meeting
Public Informational Meeting	March 17 <sup>th</sup> , 2021
Public Hearing	March 24 <sup>th</sup> , 2021 Meeting

The Construction Phase schedule is proposed to be May – October 2021.

The Project is being completed under two Project scopes to account for the WisDOT Grant Funding and Sanitary Sewer/Water Main accounts.

Action: Informational.

**E. Contract B21 - I43 Interceptor Sanitary Sewer (Steffens Ct to Dorsch to Steins)**

The Village has authorized Cedar Corp to complete the design of the proposed Project.

The Wetland Delineation for the Project Area has been completed.

The Design Phase is in the process of being completed with an April/May Bid Opening and a late summer/fall construction schedule after discussion with the business owners.

Action: Informational.

**F. Manitowoc Road – STP Urban Project – Road Reconstruction with Sidewalks**

The Village has authorized Cedar Corp to complete the STP Urban – Road Reconstruction including sidewalks.

The Village was awarded a STP Urban Project Grant for \$1,607,909 (80%) for the reconstruction of Manitowoc Road from Allouez Avenue to Kewaunee Road (STH 29) including concrete sidewalks on both sides of the roadway.

The PS&E date was August 1, 2020. The WisDOT letting date was January 12, 2021.

Assessment Phase to be completed as follows:

Preliminary Resolution	January 27 <sup>th</sup> , 2021 Meeting
Public Informational Meeting	February 17 <sup>th</sup> , 2021
Public Hearing	February 24 <sup>th</sup> , 2021 Meeting

Design Phase is completed.

Transportation Project Plat and real estate acquisition is completed.

Action: Informational.



**G. Urban Nonpoint Source Planning Grant 2021 – Storm Water Management**

The Village authorized Cedar Corp to submit the WDNR UNPS Grant application in 2021 to secure grant funds to continue the Storm Water Management Planning in 2022 to assist the Village in meeting the TMDL goals for Total Suspended Solids and Total Phosphorus in the storm water discharge.

Action: Informational.

**H. Storm Water Management – MS4 Permit Annual Report and Compliance Plan**

The Village authorized Cedar Corp to assist the Village staff and submit the WDNR MS4 Annual Report which is due March 31, 2021. The annual report summarizes the activities/documentation completed during the past year.

The Compliance Plan is required per the WPDES Permit. This Plan identifies the following activities and reports that are to be met:

- Public Outreach and Education
- Public Involvement and Participation
- Illicit Discharge Detection and Elimination
- Construction Site Pollution Control Program
- Post-Construction Storm Water Management Program
- Pollution Prevention
- Storm Water Quality Management
- Storm Sewer System Map
- Annual Report

Action: Informational.



VILLAGE OF BELLEVUE  
March 10, 2021

CONTRACT	SUMMARY	ORIGINAL	CHANGE ORDERS	CURRENT CONTRACT PRICE	TOTAL PAYMENT TO DATE	CONTRACT BALANCE REMAINING
A-20	2020 Willow Rd - Roadway/Sidewalk/Storm Sewer - <b>ON HOLD</b> Change Order No. 1	\$0.00	<u>\$0.00</u> \$0.00			
	CEDAR CORPORATION COSTS			\$0.00	\$0.00 \$8,435.41	\$0.00
C-20	2020 Sanitary Sewer/Water Main Reconstruction-Manitowoc Rd Allouez Ave to STH 29 Change Order No. 1 Change Order No. 2	\$1,251,817.50	<u>\$308,769.00</u> <u>\$14,030.50</u> \$322,799.50			
	CEDAR CORPORATION COSTS			\$1,574,617.00	\$1,420,567.01 \$143,074.08	\$154,049.99
A-21	2021 - Guns St - Roadway/Sidewalk/Culvert Reconstruction 2021 - Guns St - Sanitary Sewer/Water Main Change Order No. 1	\$0.00	<u>\$0.00</u> \$0.00			
	CEDAR CORPORATION COSTS ROAD/SIDEWALK/CULVERT CEDAR CORPORATION COSTS SANITARY SEWER/WATER MAIN			\$0.00	\$0.00 \$40,777.32 \$41,179.96	\$0.00
B-21	I-43 - Interceptor Sewer (Steins to Dorsch to Steffens Ct) Change Order No. 1	\$0.00	<u>\$0.00</u> \$0.00			
	CEDAR CORPORATION COSTS			\$0.00	\$0.00 \$12,985.81	\$0.00
	<b>MISCELLANEOUS PROJECTS - 2020/2021</b>					
	ENGINEERS REPORT - 2021				\$900.00	
	MANITOWOC ROAD - WISDOT - STP PROJECT				\$336,826.85	
	DEL MAR STORM WATER REVIEW				\$3,275.00	
	MCR RENTALS STORM WATER REVIEW				\$2,425.00	
	VILLAGE CREEK ESTATES STORM WATER REVIEW				\$605.00	
	WILLOW GROVE 1ST ADD STORM WATER REVIEW				\$1,580.00	
	MODEL UPDATES - STORM WATER MANAGEMENT				\$7,812.00	
	ALLOUEZ AVE SIDEWALK - WEST OF BELLEVUE ST				\$2,075.50	
	STORM WATER MS4 PERMIT ASSISTANCE				\$625.00	
	STORM WATER WPDES PERMIT ASSISTANCE - COMPLIANCE PLAN				\$0.00	
	2021 INTERIM DIRECTOR OF PUBLIC WORKS				\$315.00	





**Village of Bellevue  
Contract Summary  
March 10, 2021**

Contract	Summary
<b>A20</b> <b>2020 Willow Rd – Roadway/Sidewalk/Storm Sewer – ON HOLD</b>	
<b>C20</b> <b>2020 Sanitary Sewer/Water Main Reconstruction – Manitowoc Rd Allouez Ave to STH 29 Change Order No. 1</b>	Remove/Relocate Hydrants Remove/Relocate Hydrant/WM/Valve Hydrant conflict WM Break Lateral Repair WM Allouez Ave to Klondike Rd WM Break STA 157+75 Valve repairs STA 161+75 Laterals sewer repair #3024/#3026 Lateral sewer repair #2954
<b>Change Order No. 2</b>	
<b>A-21</b> <b>2021 Roadway/Sidewalk/Culvert 2021 Sanitary Sewer/Water Main Guns Street – Verlin Rd to City Limits</b>	
<b>B-21</b> <b>I-43 Sanitary Sewer Interceptor Steins to Dorsch Dorsch to Steffens Ct</b>	



# MEMORANDUM

Date: March 5, 2021

---

**To:** Diane Wessel, Village Administrator  
**Cc:** Village Board  
**Fm:** Benjamin Andrews, Assistant to the Administrator  
**Re:** **STAFF REPORT ON COMMITTEE/COMMISSION APPOINTMENTS – PARK COMMISSION**

---

## **BACKGROUND INFORMATION**

The Village's Park Commission shall consist of seven (7) members. Commissioners shall be appointed by the Village President and confirmed by the Village Board. Commissioners shall serve a term of three (3) years, with two (2) Commissioners being appointed/reappointed in each calendar year, except that in every third year, three (3) Commissioners shall be appointed/reappointed ([§335-1 Village Park Commission](#)).

## **POLICY ISSUE**

The Village President recommends the following Park Commission member for appointment to serve out the term of a previous commissioner (3-year term):

<b>Member Name</b>	<b>Term Expiration</b>
Jonathan Virant	May 31, 2022

## **REQUESTED MOTION**

***“Motion to APPROVE appointments as presented via Consent Agenda.”***

**VILLAGE OF BELLEVUE  
RESOLUTION # V-15-2021**

**A RESOLUTION AUTHORIZING THE CARRYOVER OF FUNDS FROM THE 2020  
BUDGET TO THE 2021 BUDGET FOR SPECIFIC FUTURE PROJECTS AND  
PURCHASES THEREBY AMENDING THE 2021 OPERATING BUDGET**

**WHEREAS**, the 2020 Operating Budget authorized expending funds for specific purposes;  
and

**WHEREAS**, the expenditures for certain projects did not occur due to various issues  
including limitations on staff time available to devote to carrying out the projects; and

**WHEREAS**, the Village Administrator is in support of the department requests and  
recommends adoption by the Village Board; and

**WHEREAS**, the Village Board has determined that the budgeted projects continue to be in  
the public interest and that they should be pursued; and

**WHEREAS**, the Village Board wishes to carry over and designate the unexpended 2020  
budgeted funds into 2021 for the following specific projects and purchases:

<u>GENERAL FUND</u>	<u>AMOUNT</u>
<b>POLICE DEPARTMENT</b>	
Operating Supplies-Crime Prevention Grant (100-52100-340-000)	\$1,000.00
<b>FIRE DEPARTMENT</b>	
Capital Equipment-Firefighters Memorial (100-52200-810-001)	\$ 2,547.74
<b><u>CAPITAL PROJECTS</u></b>	
Building Maintenance-Caulking 3100 Eaton Road (410-51600-351-000)	\$13,000.00
Transfer to Capital (100-59241-901-000)	\$13,000.00
Transfer from Village (410-49210)	(\$13,000.00)
<b>TOTAL GENERAL FUND</b>	<b><u>\$16,547.74</u></b>
<b><u>STORMWATER UTILITY</u></b>	
Street Trees-Stormwater Grant (620-56910-358-000)	\$4,999.00
<b>TOTAL STORMWATER UTILITY</b>	<b><u>\$4,999.00</u></b>

**NOW, THEREFORE, BE IT RESOLVED**, that the Village Board of the Village of Bellevue  
hereby authorizes that the amount of \$16,547.74 shall be carried over from the 2020 General  
Fund Budget and \$4,999.00 shall be carried over from the 2020 Stormwater Utility Budget  
and designated as non-lapsing funds as of December 31, 2021.

Adopted by the Village Board of the Village of Bellevue, Wisconsin, this 10th day of February  
2021.

APPROVED:

ATTEST:

\_\_\_\_\_  
Steve Soukup, Village President

\_\_\_\_\_  
Karen M. Simons, Clerk/Treasurer

# VILLAGE OF BELLEVUE

## Notice of Public Hearing

**PLEASE TAKE NOTICE** that a Public Hearing will be held on March 10, 2021 at 6:30 P.M. at the Bellevue Village Hall located at 3100 Eaton Road for the purpose of obtaining public comment on the following proposed governmental action:

PDD 2021-0002 - Consider/Discuss/Act on the request by Ryan Van Straten, Alliance Management, Applicant, on behalf of Robert & Erin Hoekstra, owner, to establish a Preliminary Planned Development District (PDD) for a mixture of a 138-unit addition to the Crystal Lake Apartment Development and Single-Family Residential Lots located on the north side of Hoffman Road (County Highway XX), approximately 430 feet west of Bellevue Street (County Highway XX), Parcels B-296 & B-300.

All interested Village of Bellevue residents are welcome to attend.

Signed and dated this 22<sup>nd</sup> day of February, 2021.

Karen M. Simons  
Clerk/Treasurer  
Village of Bellevue

Posted and notified 2/22/2021  
Published 2/28/2021 and 3/5/2021

*PDD 2021-0002 Notification List*

DEBRA L GEER  
626 BREVOORT LN  
GREEN BAY WI 54301

PATRICK A VANDENHEUVEL  
1435 HOFFMAN RD  
GREEN BAY WI 54311-5646

GERALD L ROFFERS  
1467 HOFFMAN RD  
GREEN BAY WI 54311-5646

ROBERT A & MARGARET R MATTICE REVOCABLE TRUST  
1483 HOFFMAN RD  
GREEN BAY WI 54311

SCOT E MEDFORD  
2620 BELLEVUE ST  
GREEN BAY WI 54311

NICHOLAS J DAVIS  
2600 BELLEVUE ST  
GREEN BAY WI 54311

ERIC M BERNER  
5603 COUNTY ROAD T  
STURGEON BAY WI 54234-9691

JEANETTE A KLAUS  
DAVID G KLAUS  
2560 BELLEVUE ST  
GREEN BAY WI 54311-5632

DIANE F SCRAY  
LAWRENCE J SCRAY  
2504 BELLEVUE ST  
GREEN BAY WI 54311-5632

DENNIS F WATERMOLEN  
247 BAVARIAN CT  
GREEN BAY WI 54302-4942

RIVERBEND TERRACE FAMILY LP  
1885 RIVERBEND TE #4  
GREEN BAY WI 54311

BOWER CREEK DEVELOPMENT CO LLP  
1411 S WEBSTER AV  
GREEN BAY WI 54301-2503

ERIN M HOEKSTRA  
ROBERT J HOEKSTRA  
2526 BELLEVUE ST  
GREEN BAY WI 54311-5632

CRYSTAL COVE LTD  
1530 CRYSTAL LAKE CI  
GREEN BAY WI 54311-5970

BEL MEADOWS PARTNERS LLP  
2727 LBJ FREEWAY STE 806  
DALLAS TX 75234

**AGENDA ITEM**

**TO:** Diane Wessel, Village Administrator  
Plan Commission

**FROM:** Andrew J. Vissers, Community Development Director

**SUBJECT:** PDD 2021-0002 - Consider/Discuss/Act on the request by Ryan Van Straten, Alliance Management, Applicant, on behalf of Robert & Erin Hoekstra, owner, to establish a Preliminary Planned Development District (PDD) for a mixture of a 138-unit addition to the Crystal Lake Apartment Development and Single-Family Residential Lots located on the north side of Hoffman Road (County Highway XX), approximately 430 feet west of Bellevue Street (County Highway XX), Parcels B-296 & B-300.

**APPROVAL PROCESS:** The recommendation of the Plan Commission will be forwarded to Village Board for a public hearing and consideration at the March 10, 2021 regularly scheduled meeting.

---

**STAFF RECOMMENDATION:** Staff recommends approval of the proposed preliminary Planned Development District (PDD) subject to the following conditions:

1. A Final PDD shall be submitted for review and approval by the Village Board within a year of approval of the Preliminary PDD.
2. The underlying zoning of the area designated as Single-Family shall comply with the R-1 – Single-Family Residential District standards except for the deviations approved within the Final PDD.
3. The underlying zoning of the area designated as Multi-Family shall comply with the R-3 – Multi-Family Residential District standards except for the deviations approved within the Final PDD.
4. Submission, review and approval of a proposed Site Plan for the multi-family component in conformance with the Physical Development Standards (Chapter 500-1700) and Multi-Family Development Standards (Chapter 500-1600) including, but not limited to architectural, lighting, landscaping, parking, stormwater management, grading & drainage, utilities, etc.
5. The applicant shall submit an elevation exhibit for all buildings (apartments and detached garages) showing materials percentage for the Final PDD.
6. Submission, approval and recording of a suitable Land Division defining the lots for the multi-family and the existing and future single-family lots.
7. Review and approval of the proposed drive access to Hoffman Road (County Highway XX) by Brown County Highway Department and the Green Bay Metro Fire Department.

8. Approval of elimination of the minimum required frontages on an improved roadway for the multi-family lots.
9. Provide the Village with a Management operational plan with the Final PDD.

**APPLICATION SUBMITTAL DATE:** January 25, 2021 (Original Submittal)

**ITEM SUMMARY:** The submitted request includes approximately 25.3 acres between 2 parcels. The proposed use is a 138-unit multi-family development which equates to approximately 7.6 units per acre for the area identified as multi-family. The remaining portion will be identified for future single-family development and a lot for an existing single-family dwelling. The development also proposes a possible resident use parking lot for proximity to the East River Trail nearest to the Village owned parcel on Hoffman Road identified as a future trailhead location. This could be possible dedicated or acquired by the Village in the future. There will be continued discussions that staff and the applicant hope to clear up prior to submission of the Final PDD.

**SURROUNDING ZONING AND LAND USES:**

Subject Property: R-1 – Single-Family Residential District, R-2 – Two-Family Residential District, and A-2 – Agricultural Transition District (Undeveloped Land and a Single-Family Dwelling)

	Zoning District	Current use of property
North	PDD – Planned Development District	Crystal Lake Apartments
South	R-1 – Single-Family Residential District, PDD – Planned Development District, A-1 – Exclusive Agriculture District, and P – Public Use District	Single-Family Dwellings and Undeveloped Land
East	R-1 – Single-Family Residential District and R-2 – Two-Family Residential District	Single-Family and Two-Family Dwellings
West	P – Public Use District	East River Parkway (Village Owned)

Discussion: A portion of Parcel B-296 contains a single-family dwelling (2526 Bellevue Street) that will be subdivided off as its own lot and retrain the current zoning of R-2 – Two-Family Residential District. In looking at the existing conditions, staff encourages that mutual access easements be agreed to and recorded on the future land division between 2502-2504, 2526 and 2560 Bellevue Street as there are connections to structures through the main driveway located on 2526 Bellevue Street if there aren't any at this time.



**PROPOSED ZONING:** The purpose of the Planned Development District and the regulations applicable to the same are to encourage and provide means for effecting desirable and quality development by permitting greater flexibility and design freedom than that permitted under the basic district regulations, and to accomplish a well balanced, aesthetically satisfying Village and economically desirable development of building sites within a Planned Development District. These regulations are established to permit latitude in the development of the building site if such development is found to be in accordance with the purpose, spirit and intent of this ordinance and is found not to be hazardous, harmful, offensive or otherwise adverse to the environment, property values or the character of the neighborhood or the health, safety and welfare of the community. It is intended to permit and encourage diversification, variation and imagination in the relationship of uses, structures, open spaces and heights of structures for developments conceived and implemented as comprehensive and cohesive unified projects. It is further intended to encourage more rational and economic development with relationship to public services, and to encourage and facilitate preservation of open space and other natural features, such as woodlands, floodplains and wetlands.

As the Zoning Code states, the procedure for approval of a planned development project shall consist of two phases:

1. **Preliminary Approval** – consisting of approval of the proposed project in principle only, and
2. **Final Approval** – consisting of approval of the proposed project in all its terms and details.

The submitted request includes approximately 25.3 acres between 2 parcels. The proposed use is a 138-unit multi-family development which equates to approximately 7.6 units per acre for the area identified as multi-family. The remaining portion will be identified for future single-family development and a lot for an existing single-family dwelling. The breakdown would be approximately 18.2 acres for the multi-family component and 7.1 acres for the single-family component.

The existing Crystal Lake development has 238 units. The additional 138 proposed units would bring the total unit count for the complex to 376 units.

The proposed 138 units would be made up of the following:

- 46 one bedroom plus den units at 900 sf with a detached garage
- 46 two bedroom/two bath first floor units at 1,250 sf and an attached 2-stall garage
- 46 three bedroom/two bath upper floor units at 1,473 sf with an attached and a detached garage

The complex would continue to take the primary access off of Bellevue Street (County Highway XX) through its existing main entrance. There is shown an access point to

Hoffman Road (County Highway XX) on the plan. There is also an emergency access only entrance off of Bellevue Street (County Highway XX) on the northern side of the development. The Green Bay Metro Fire Department (see attached comments) indicated that will need to remain intact. Any proposal to modify the access or restrict access at this point will need review and approval by the Green Bay Metro Fire Department.

As this is the “vision” step of the PDD process, staff is looking at bigger picture items rather than a more thorough review that will take place in the final PDD application review and site plan review process.

In the review, staff was able to identify the following items we have listed as conditions that will need to be addressed, if the project continues forward.

- As part of Chapter 500-1600 Multi-Family Development Standards of the Village of Bellevue Zoning Ordinance, there are 3 steps with minimum percentages of architectural materials and corresponding architectural elements for utilizing less masonry and more siding. The current structures within Crystal Lake were developed prior to the Multi-Family Development Standards being adopted by the Village of Bellevue. Therefore, the current buildings do not necessarily meet the architectural step requirements found within the Zoning Ordinance in regard to materials. Much like commercial and industrial developments that construct additions to existing buildings, we allow those additions to match the existing materials (permitted or not) in order to not appear tacked on or drastically different. Although this proposal is not a true addition, it is an extension of an existing overall development. The proposed buildings are similar in design to a development that is/being constructed in Howard in which the materials are a mixture of brick and LP siding (engineered wood). Staff feels the design is appropriate and will complement the existing structures within the development while at the same time having a unique appearance. Staff recommends that the applicant provide a more detailed material percentage breakdown with submission of a Final PDD for the various building elevations.
- As part of the Building Design section of Chapter 500-1600 Multi-Family Development Standards of the Village of Bellevue Zoning Ordinance, there is a requirement to provide patios or balconies with roofs. The applicant has identified that some units will have a 2<sup>nd</sup> floor balcony on a 3-story side (but still be the same unit on both the 2<sup>nd</sup> and 3<sup>rd</sup> floors) and placing a roof over the balcony will appear “tacked” on and take away from the visual perspective. This requirement for cover is for the convenience of the resident to utilize that space in inclement weather but is not a necessary structural component. Many high-end multi-family developments in the area have exposed balconies, so staff is supportive of this requested deviation.
- The R-3 – Multi-Family Residential District has a maximum building height of 35’. The Zoning Code defines building height as:

*The vertical distance measured from the curb level to the mid-height of the roof surface on a flat roof, to the deck line of mansard roofs, and to the mean height level between eaves and ridge for gable, hip, and gambrel roofs. For buildings set back from the street line, the height of the building may be measured from the average elevation of the finished grade along the front of the building, provided its distance from the street line is not less than the height of such grade above the established curb level.*

The measurement from the ground to the top of the ridge on the 3-story development is proposed to be 38'. Instead of measuring each building from the average finished grade, staff proposes allowing a maximum 3-story building height of 40'. Staff does not feel that the 5' difference would be noticeable to most and would likely eliminate the need to come back and request a possible future PDD Amendment for a minor deviation. The buildings themselves are setback a considerable distance from any existing adjacent single-family dwellings.

- Staff will be having discussion regarding a possible land dedication or possible future acquisition of parking facilities for the proposed trailhead location at the northeast corner of the East River and Hoffman Road (County Highway XX). The Village Comprehensive Outdoor Recreation Plan identifies this area as a future park and possible trailhead as the Village currently owns property along the East River for the current and future locations of the East River Trail. The applicant is considering the possible construction of a parking lot along Hoffman Road that would initially serve the Crystal Lake residents to drive and park and then walk across the bridge to the trail system in Allouez. In the future if the trail is expanded into Bellevue in this area and the park was developed, the parking lot could possibly be acquired by the Village. Also, there will be discussion about other land dedication as well. Staff will continue these discussions with the Parks, Recreation and Forestry Director, and then with the Park Commission and Village Board if they proceed in an agreeable manner.
- As the Letter of Intent indicates, the current Crystal Lake and Crystal Cove Apartments are on two different lots under two ownership titles. If the proposed parcels for the 90-unit pod and 48-unit pod do not have the required minimum frontage on a dedicated right-of-way, that will have to be included in the Final PDD Ordinance.

**CONFORMANCE WITH COMPREHENSIVE PLAN:** The property is identified as Low-Density Residential on the Future Land Use Plan (FLUP). A portion of the proposed development is consistent with that proposal. The area of added multi-family is not. Staff feels that based on the environmental conditions of the property it would be difficult and cost prohibitive to lay out a traditional single-family development. Crystal Lake has been one of the better managed properties in the community and staff feels the expansion would not be a significant detriment to the area.

**OPPOSITION TO OR SUPPORT OF REQUEST:** Staff has not received any calls or e-mails in support of or opposition to this request as of the drafting of this report.

**ATTACHMENTS:**

- Application
- Location Map
- Letter of Intent
- Proposed Preliminary Planned Development District Exhibits
- Staff Review Comments

---

**Action:**



# REQUEST FOR DEVELOPMENT APPROVALS

2828 Allouez Avenue Bellevue, WI 54311 (920) 468-5225  
Fax (920) 468-4196 email: andrewv@villageofbellevue.org

Application Number: \_\_\_\_\_ Parcel Number: B-296 and B-300

Name of Owner (Individual, Corp., etc.) Robert J Hoekstra and Erin M Hoekstra

Contact Name Ryan Van Straten - Alliance Management Lot B-296 and B-300

Address 1530 Crystal Lake Circle Green Bay, WI 54311 Phone 920.562.1481

Email Ryan@alliancewi.com Fax \_\_\_\_\_

Name of Applicant/Contact Person (if different from Owner). Only applicant will be notified for meetings and public hearing.

Name of Contact Person Ryan Van Straten

Name of Firm/Company Alliance Management Phone 920.562.1481

Mailing Address 1530 Crystal Lake Circle Green Bay, WI 54311

Fax \_\_\_\_\_

Email Ryan@alliancewi.com

### Type of Request (check all that apply):

- Official Map Amendment/ADP
- Planned Development District
- Subdivision Plat Map
- Comp. Plan Amendment
- Conditional Use (Supplement "A" Req'd)
- Certified Survey Map
- Re-Zoning Request
- Zoning Approval (Supplement "A" Req'd)
- Zoning Ordinance Amd.

Address of Affected Property 2526 Bellevue St

Current Zoning R-1, A-2, and R-2

Owner Signature  Date 1-11-21

Note: *No request for re-zoning will be placed on the agenda without the signature of the property owner(s).*

### Required Submittal Documents:

- Legal Description
- Detail Map of Area
- Letter of Intent indicating the specifics of request
- Appropriate Exhibits for processing

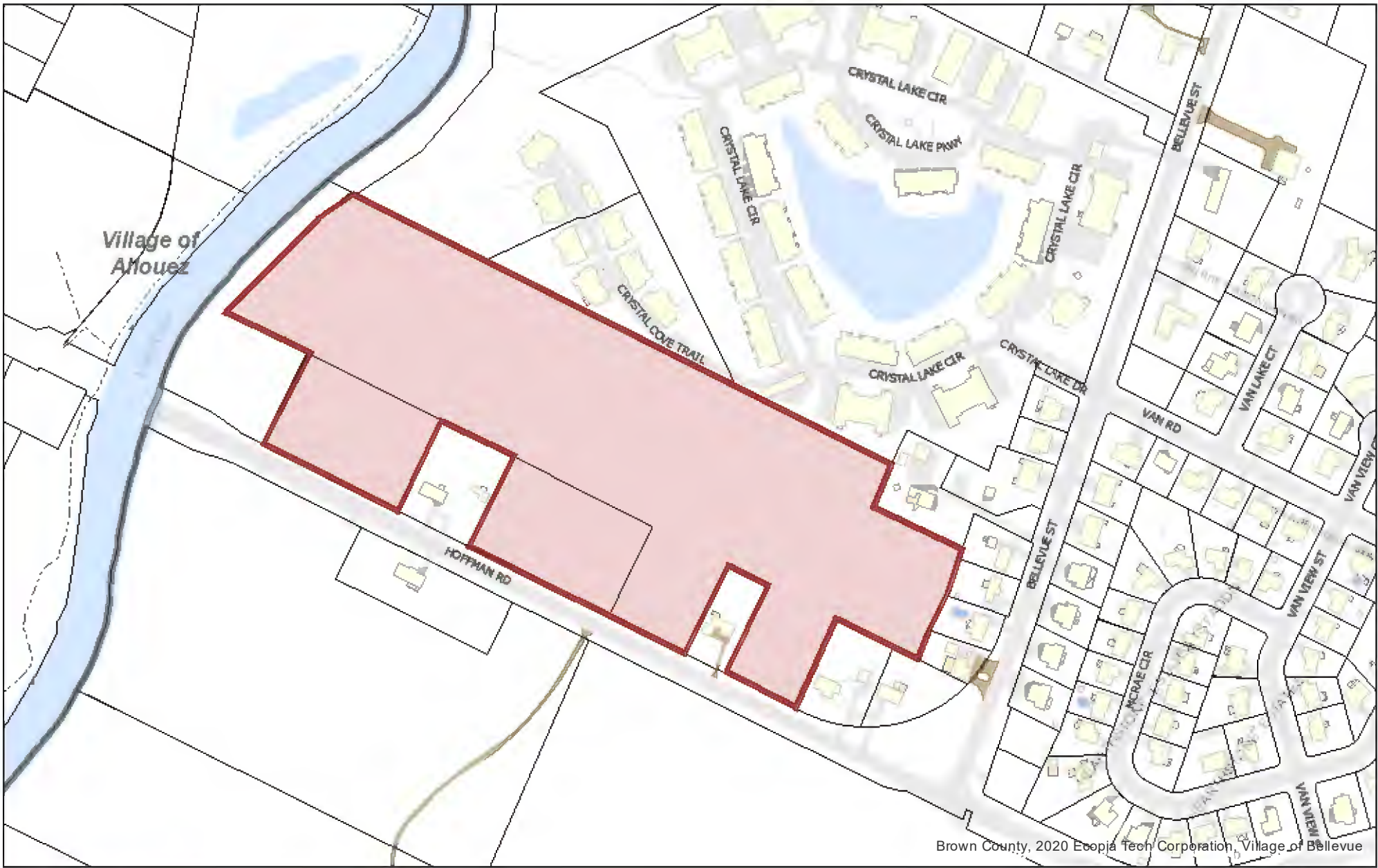
### FOR OFFICE USE ONLY: Review Fees (check all that apply)

ADP/Official Map Amendment \$350 _____	Preliminary Plat \$200 +\$35/lot _____	Preliminary PDD \$500 _____
Conditional Use Request \$350 _____	Final Plat \$100 _____	Final PDD \$300+ \$100/M>1M _____
Certified Survey Map \$175 _____	Comp. Plan Amendment \$350 _____	PDD Amendments \$350 _____
Rezoning Request \$250 _____	Extra CSM/Plat \$100 _____	Zoning Ordinance Amd. \$1000 _____

Amount Paid: \_\_\_\_\_ Date Paid: \_\_\_\_\_ Receipt Number: \_\_\_\_\_

# PDD 2021-0002 Location Map

Village of Bellevue, Wisconsin



Brown County, 2020 Esopja Tech Corporation, Village of Bellevue



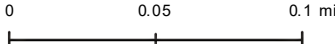
Map provided by the Village of Bellevue's Internal Interactive Web Mapping System

Please visit: [www.villageofbellevue.org/GIS](http://www.villageofbellevue.org/GIS) to access Bellevue's Interactive Web Mapping System.

This map is intended for advisory purposes only. The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent. The Village of Bellevue assumes no liability for its use or accuracy.

Date: 2/12/2021

Reference Scale: 1:0



**Legend**

Site Location



**Thursday, February 25, 2021**

Andrew Vissers  
Village of Bellevue  
2828 Allouez Ave  
Bellevue, WI 54311

**RE: Crystal Lake Leased Residences – Phase 2**

Dear Mr. Vissers and Plan Commission Members:

Thank you for your time reviewing our project. We currently have an accepted offer to purchase and will complete the purchase once we have finished our due diligence and obtained all approvals required. The main component of our proposal is a 138 unit luxury addition to our 238 unit Crystal Lake project. At Crystal Lake, our beautiful units, low density site plan, community amenities, and secluded yet close to everything location has been extremely popular with residents. We plan to continue the low density feel of Crystal Lake with only 7.6 units per acre in our second phase. We have an incredible opportunity to utilize a very difficult parcel in a better way than any other developer because of the economies of scale we gain from Crystal Lake. This has allowed us to propose a high end luxury project that was only previously feasible utilizing TIF funding. In this letter of intent I will explain in more detail our unit mix, building design, site plan, market demand data, property management operations, and timeline for development.

Our unit mix and building design go hand in hand. The building we have chosen is a market tested luxury design (our “lofts” project) that will further enhance the positioning of Crystal Lake as one of the best apartment complexes in town. This building design was initially created to be part of Howard’s new “Village Center”. Our goal was to design a building that Howard would be proud to have as an extremely visible component of their village center while also targeting unit types that are in high demand. As it turns out, we were very successful with both goals. The project looks beautiful and the units have all been fully leased well before each building was completed. In order to better integrate the design into our Crystal Lake project, we’ll plan on a complimentary color scheme and a standard asphalt shingle roof instead of the low sloping roofs with parapets we have in Howard. The building design features large, two story breezeways that provide weather protection for the apartment entries while also creating an inviting, attractively lit entryway for residents and their guests. The unit mix is split evenly among our three unit types. Above the garages we have 46 spacious one bedroom (plus den) 900 sq. ft. units with a one stall detached garage. We also have 46 first floor two bedroom two bath 1,250 sq. ft. units with large two stall attached garages. These units were designed with seniors in mind and have extra features like laundry pedestals, an 18 foot wide garage door, and the lower kitchen cabinets feature all drawers. Finally, above the two bedroom units we have 46 three bedroom two bath 1,473 sq. ft. units with an attached and detached garage. The three bedroom units replicate the two bedroom floor plan below but have a lofted third bedroom and a 19 foot ceiling in the living room. We took care to minimize sound transmission through significant insulation but also through intelligent design. There isn’t a single bedroom in our project that borders the living room of another unit and the only rooms above the bedrooms in the lower unit are the bedrooms for the three bedroom unit. Those bedrooms also have carpeting to help minimize sound transmission. For the interiors we have gone above and beyond to create units with market leading finish levels. Our 2/3 bedroom units have stainless steel range hoods and 8 foot tall patio doors. All our units have private entrances, side by side refrigerators with icemakers and filtered water, smudge proof stainless steel appliances, dishwashers with stainless tubs and extra sound insulation, slow close cabinet doors and drawers with 36” upper cabinets, quartz countertops, dual sinks in the master, front loading washers, luxury vinyl plank floors everywhere except the carpeted bedrooms, solid core doors, real wood trim, walk in closets, ample pantry/linen storage, electric car charging in attached garages, ultra quiet garage door openers, central air conditioning, smart wifi thermostats, 9 foot ceilings, abundant lighting, and more. Our philosophy in designing this building was to give residents every amenity they would expect from a brand new single family home for those that want to rent an apartment but don’t want to compromise on quality.





The building was designed to offer amazing units but also to have a very attractive exterior that felt more like a condominium than an apartment complex. The two story living room and lofted 3<sup>rd</sup> bedroom in the uppers gives the impression of a grand three story building without having to compromise with common hallways and walk up 3<sup>rd</sup> story units. The varied heights of the roofline and the brick accents around the patios break up the back of the building and give it a beautiful look. On the front of the building we have massive 10 foot wide and two story high breezeways with a beautiful brick arch that create a very impressive entry to the building. The huge 18 foot wide by 14 foot deep landscaping planters at the entrances to each breezeway are big enough to plant a tree to add color, height, and visual breaks throughout the parking lot. The landscape islands also tie our new phase into a theme incorporated into the parking areas for Crystal Lake's Lakeside and Woodview building styles.

Our site plan was designed to blend in with the low density layout at Crystal Lake and Crystal Cove. One of the things we hear about most often at Crystal Cove is that it feels like a small community within the larger Crystal Lake community. We wanted to re-create that in phase two. By keeping the lower density, connecting phase two directly to Crystal Lake instead of Hoffman Road, and splitting the phase into two separate areas, we were able to create what will feel like two additional pocket communities of 90 units and 48 units. With a density of only 7.6 units per acre, our new communities will feel connected to nature and more private than most complexes. All of our two and three bedroom units face away from the parking lot and will have hundreds of feet between them and any other apartments or neighboring homes. This is a huge benefit to our residents, but also to the neighboring homes and duplexes. To further isolate our property from the neighboring homes, we have left room to plant rows of evergreen trees as a visual barrier between our property and our neighbors. This will improve privacy but also protect our neighbors from porch lights, vehicle headlights, and any other light sources from our project. The 48 unit and 90 unit sections of the project will be setup as separate parcels. The 48 unit will be owned by Crystal Lake and the 90 units by Crystal Cove. This setup provides financing benefits to us but is a purely internal division. To the general public it will be marketed as a single project just like Crystal Lake and Crystal Cove are now. You'll also notice several single family lots included in our plan. The zoning along Hoffman is single family and so we plan to create single family lots within that zoning and sell them individually. We reduced the depth of those lots compared to the existing single family zoning boundary to leave room for the evergreen trees we want to plant to create the natural barrier between the zones. Five of the single family lots are adjacent to the East River and land owned by Bellevue, including one very large lot. Our preference for those lots would be to donate them to Bellevue to be part of a future park. We would love for Crystal Lake to eventually have direct access to that park and, by extension, the East River Trail. We are separately discussing this possibility with Mr. Vissers concurrently with this approval process. At minimum we would like approval to construct a parking lot accessible from Crystal Lake that has direct access to the sidewalk on Hoffman for our residents to use as a connection to the trail. The backup plan would simply be to sell off those lots individually.

Since the lofts project was designed to be one of the most attractive buildings in the area, we exceeded village code requirements in many areas of the project. I have to stress again that we were only able to afford to build this design in Howard because of TIF support, and we can only make the numbers work in Bellevue because of the economies of scale we gain from Crystal Lake. I mention this again because there are a few areas we would like to request, through the PDD process, approval of deviations from the standard multifamily requirements. Meeting these requirements would not only be a large burden, but it would actually make the project less attractive. We're asking for you to judge the project as a whole and recognize that it is a market leading, high end apartment complex. Through the PDD process you have the ability to weigh the benefits our project provides above a strict code interpretation. The first is the requirement for masonry and façade articulation. Our entire building exterior is comprised of brick and LP SmartSide siding. There will be no vinyl siding anywhere on the building. Our design strategically uses brick as a design element on both sides of the building. Adding additional brick would only detract from the strategic use of brick designed to draw the eye as a focal point to specific parts of the building. Additionally, we've used varying roof heights, brick patio planters, brick privacy dividers, the brick arch around the breezeways, and large landscaping islands to create the visual interest that façade articulation is meant to provide. We've investigated adding articulation to the front of the building but because the second floor rooms and the first floor garages don't line up, there is no good way to do it without harming the floor plans. We believe our combination of 100% high quality siding materials and thoughtful architectural design meets the spirit of the





ordinance. You can see in practice in our Howard Lofts location that this building design is extremely attractive and accomplishes the village's goal of having beautiful, visually interesting buildings. The second area we would like approval of a deviation is regarding roof coverings over the decks. Due to the third story (with windows) over the three bedroom decks, and the spread out locations of the one bedroom decks, adding roofs over the balconies will have a serious negative effect on the look of the building. They will look "tacked on" and distract from the design. Additionally, our decks are only four feet deep. Covering such narrow decks with a roof would oftentimes not even add a benefit to the resident. With any amount of wind, rain will still be hitting residents standing on our decks. The third area we're requesting a deviation from code is regarding building height. The majority of our building is below the 35 foot requirement and only the very peak of the three story portion reaches up to 38 feet. Our lofted bedroom and two story living room in the three bedroom unit are integral components of providing the three bedroom unit type. Without this deviation, we would not be able to offer a 3 bedroom unit that is so massively in demand by families in our community. We believe these three deviations are reasonable considering the reasons above as well as two additional factors. First of all, none of these buildings border a public road. They will all be well hidden hundreds of feet away with single family homes and evergreen trees blocking public view. Second, as phase two of an apartment project built before these standards were created, our design will blend in well with the existing units at Crystal Lake. We don't have roofs over our decks at Crystal Lake now and most of the existing siding is a concrete board product that is very similar to the LP SmartSide. Our hope is that you agree with our view that the overall package we are offering Bellevue with our lofts style, low density project with high quality interiors is among the best projects in the area. Without approval of deviations in these areas, we will need to start over with a different, less expensive building design.

As I'm sure you've been told by every apartment developer proposing a project, the Green Bay metro area is currently experiencing a shortage of apartments. The current pace of new construction is not keeping up with this demand and thousands of units need to be built over the next 10 years to try to catch up to the current need. We have experienced this throughout our portfolio. Crystal Lake has been 100% occupied for many years and has experienced no negative effects from the pandemic. We are currently participating in several development projects throughout the Green Bay metro area and we are seeing unprecedented demand for apartments. We expect to be able to lease all of these units very easily as they are built. As I mentioned before, the loft style apartments we are building in Howard are currently renting faster than we can build them.

Assuming we are able to receive municipal approval through the PDD process this spring, we plan to start construction immediately. We will stagger the buildings so we can move framing crews from one building to the next. The first building will take 8-12 months to complete and our goal would be to deliver one building every 2-3 months until all seven buildings have been finished. This will likely take us through late 2023.

Our property management operations are centered around ensuring our projects are among the most attractive and well maintained properties in the area. We have two full time leasing agents and five full time maintenance employees working from the Crystal Lake office. We are committed to fast response times, beautiful landscaping, well maintained units, and continual upgrades of capital assets. Over the past five years at Crystal Lake we've spent over \$1,300,000 in capital replacements to make sure our property stays in great condition. Additionally, we are firm believers in maintaining adequate capital reserves for repairs and replacements. We currently have a reserve fund at Crystal Lake of over \$830,000. We also contribute almost \$200,000 per year to that fund in addition to the money we spend each year on replacements. Once we add the additional 138 units we will increase those contributions to ensure adequate fund are available for any size emergency that could arise.

Thank you for reviewing our project and taking the time to consider our requests. Our building design is one of the most attractive and highest quality buildings in the Green Bay metro area. We will spend significantly more money than most apartment complexes to offer the best interiors available. Once complete, this project will attract the highest rents of any apartment in the Village of Bellevue. We believe this project is the perfect use for this land and can only be achieved by the connection to our Crystal Lake property.

Sincerely,  
**Ryan Van Straten**



## PROJECT TEAM

Developer,  
Property Manager

Alliance Management  
Principals: Erik Goerke and Ryan Van Straten  
PO Box 458  
De Pere, WI 54115  
Contact: Ryan Van Straten

Project Owners

Bel Meadows Partners, LLC and Crystal Cove, LLC  
1530 Crystal Lake Circle  
Green Bay, WI 54311  
Contact: Ryan Van Straten

Civil Engineer

JB Site Design and Engineering, LLC  
Contact: Joe Bronoski

Architect

Vision Architecture, LLC  
Contact: Adam James

General Contractor

Duquaine Development, Inc.  
Contact: Jake Hofmann



## PROJECT DATA

Project Name	Crystal Lake Phase Two
Parcel Size	Approximately 18.2 acres for Crystal Lake Phase Two Approximately 7.1 acres for single family home lots
Unit Density	Approximately 7.6 units per acre
Zoning	Currently a mix of R-1, R-2, and A-2 – request to rezone to PDD
Parking	307 spaces required – 467 provided 138 attached garage spaces 92 detached garage spaces 237 surface spaces
Unit Mix	46 one bedroom plus den 900 sq. ft. units 46 two bedroom two bath 1,250 sq. ft. units 46 three bedroom two bath 1,473 sq. ft. units
Building Height	Visual breakdown included as an attachment 30'3" to the eave height of the three story portion 35' to the top of the main roof ridge 38' to the top of the three story roof ridge Approximately 12' to the top of the detached garage roof
Setbacks and Open Space	All setbacks and open space % will meet or exceed multifamily zoning requirements
Refuse	All resident refuse will be collected using the existing Crystal Lake location. Alliance Management is currently in the planning stage of a paid garbage collection service in which tenants pay a monthly fee and can have their garbage picked up from their garage two times per week. This program was delayed due to covid but will hopefully be available prior to the completion of the first building of phase two.
Mail Delivery	All mail will be delivered to the mail room at Crystal Lake. We also have secure package delivery through an Amazon HUB.
Landscaping	Our landscaping plan will be complimentary to the existing landscaping at Crystal Lake
Lighting	Wall packs will be used for the parking areas. Disk lights and wall mounted up/down lights will be utilized inside the breezeways.
Signage	The only additional signage we will be adding will be some internal directional signage



## LEGAL DESCRIPTIONS

- B-296                      21.795 AC M/L PRT OF LOT 1 OF 16 CSM 193 & PRT OF PC 22 & 23 ESFR DESC  
IN 2124297 & PRT IN 2138049 & PRT IN 2150101 EX 2188194 & EX 2576507 & EX  
2576508 & PRT OF LOT 1 OF 56 CSM 65 DESC IN 2818725
- B-300                      4.787 AC M/L PRT S1/2 OF PC 23 ESFR W OF RIVER RD EX 347 D 590 & EX 749 R  
250 & EX 754 R 528 & EX 960 R 346 & EX RDS & EX J19988-03 & EX 2177802



Hoffman Land

B-296  
B-300

The original home at 2526 Bellevue St is excluded from the project.



Map printed on 10/19/2020

1:3,600

1 inch = 300 feet\*

1 inch = 0.0568 miles\*

\*original page size is 8.5" x 11"

Appropriate format depends on zoom level

A legend (map key) is available at: <https://tinyurl.com/BrownDogKey>

Brown County Wisconsin  
Planning & Land Services  
Department



(920) 448-6480

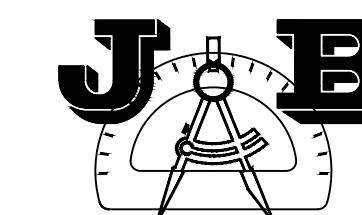
maps.gis.co.brown.wi.us

0

0.08

0.16  
mi





SITE DESIGN AND ENGINEERING, LLC  
 PO BOX 1067  
 WOODRUFF, WI 54568  
 (920) 207-8977  
 jbronoski@bsitedesign.net



**SITE PLAN**  
 1"=60'

**Issue Dates**  
 Revision      Date

**PROPOSED APARTMENT DEVELOPMENT**  
**CRYSTAL COVE TRAIL**  
 2526 BELLEVUE STREET  
 Bellevue, Wisconsin 54311

SHEET TITLE  
 SITE PLAN

DRAWN BY

CHECKED BY

DATE  
 01/19/2021

PROJECT NO.  
 2020-22

SHEET NO.

**C - 1**

NO. REVISIONS	DATE



**SITE DEVELOPMENT AND EROSION CONTROL NOTES:**

POST WORK CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED AND A NOTICE OF TERMINATION IS FILED WITH THE WDNR.

KEEP A COPY OF THE CURRENT AND APPROVED EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.

SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.

SELECTED EARTHWORK CONTRACTOR IS RESPONSIBLE FOR THE ROUTINE SITE INSPECTION AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON SITE AND MAKE THEM AVAILABLE UPON REQUEST.

THE SELECTED EARTHWORK CONTRACTOR SHALL INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

INSTALL PERIMETER EROSION CONTROLS AND STONE TRACKING PAD ENTRANCE PRIOR TO ANY LAND DISTURBANCE ACTIVITIES AND/OR SITE CLEARING/TOPSOIL STRIPPING. USE WDNR TECHNICAL STANDARD #1057 FOR STONE TRACKING PADS.

STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREAS (BARE GROUND). FOLLOW STEPS DEFINED WITHIN WDNR TECHNICAL STANDARD #1067.

THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED BY ANY SUB CONTRACTOR IF DE-WATERING IS REQUIRED TO DETERMINE IF DE-WATERING IS IN AREAS OF SOIL AND/OR GROUNDWATER CONTAMINATION. ANY REQUIRED DE-WATERING OF THE SITE REQUIRES THE APPROPRIATE WDNR DE-WATERING DISCHARGE PERMIT FROM THE DEPARTMENT.

CONSTRUCTION OF THE NORTH STORM WATER BASIN SHOULD BE CONSTRUCTED BEFORE ANY OTHER LAND DISTURBANCE ACTIVITIES TAKE PLACE AS DEFINED WITHIN THE CONSTRUCTION SEQUENCING, SHEET C1. UPON COMPLETION OF SITE STABILIZATION (PAVEMENT, TOPSOIL, GRASS) BOTH STORM WATER BASINS SHOULD BE CLEANED OUT AND BASIN BOTTOM RESTORED TO DESIGNED GRADE.

INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD #1056 FOR SILT FENCING. REMOVE SEDIMENT FROM BEHIND SILT FENCING AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.

SELECTED EARTHWORK CONTRACTOR IS RESPONSIBLE TO REPAIR ALL BREAKS AND/OR GAPS IN THE SILT FENCE IMMEDIATELY.

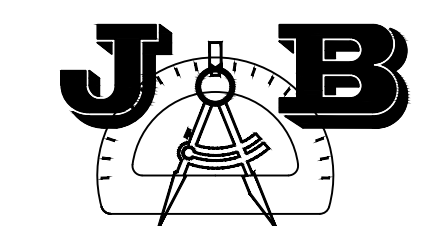
SELECTED EARTHWORK CONTRACTOR IS RESPONSIBLE TO STABILIZE THE TEMPORARY STOCKPILES AND AREAS SURROUNDING THE STOCKPILES IMMEDIATELY. DUE TO THE PROPOSED CONSTRUCTION SCHEDULE STOCKPILES LEFT INACTIVE OVER THE WINTER MUST BE STABILIZED WHILE WEATHER CONDITIONS ALLOW (PRIOR TO FROST CONDITIONS).

EARTHWORK CONTRACTOR TO STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR MORE THAN 14 DAYS. BETWEEN SEPTEMBER AND OCTOBER 15, STABILIZE WITH MULCH. LACKING MULCH, APPLY A PERENNIAL SEED MIX WITH WINTER WHEAT, ANNUAL OATS OR ANNUAL RYE AS APPROPRIATE FOR THE REGION AND SOIL TYPE. AFTER OCTOBER 15 STABILIZE WITH A POLYMER AND DORMANT SEED MIX AS APPROPRIATE FOR THE REGION AND SOIL TYPE.

EARTHWORK CONTRACTOR TO SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MAY MOVE OFF SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE TOWN OF GRAFTON.

PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS AND DO NOT ALLOW THESE ITEMS TO BE CARRIED BY RUNOFF INTO THE EXISTING STORM WATER BASIN.

SELECTED EARTHWORK CONTRACTOR WILL BE RESPONSIBLE TO INSTALL ANY/ALL ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF GRAFTON AND/OR THE OWNER'S REPRESENTATIVE.



SITE DESIGN AND ENGINEERING, LLC

PO BOX 1067  
WOODRUFF, WI 54568  
(920) 207-8977  
jbronski@jbsitedesign.net

NO.	REVISIONS	DATE

Issue Dates	
Revision	Date

PROPOSED APARTMENT DEVELOPMENT  
CRYSTAL COVE TRAIL  
2526 BELLEVUE STREET  
Bellevue, Wisconsin 54311

SHEET TITLE	
SITE GRADING AND EROSION CONTROL PLAN	
DRAWN BY	
CHECKED BY	
DATE	
01/19/2021	
PROJECT NO.	
2020-22	
SHEET NO.	
C - 2	

Grading plan for West side of wetlands

is in progress.

**PARTIAL SITE GRADING AND EROSION CONTROL PLAN**

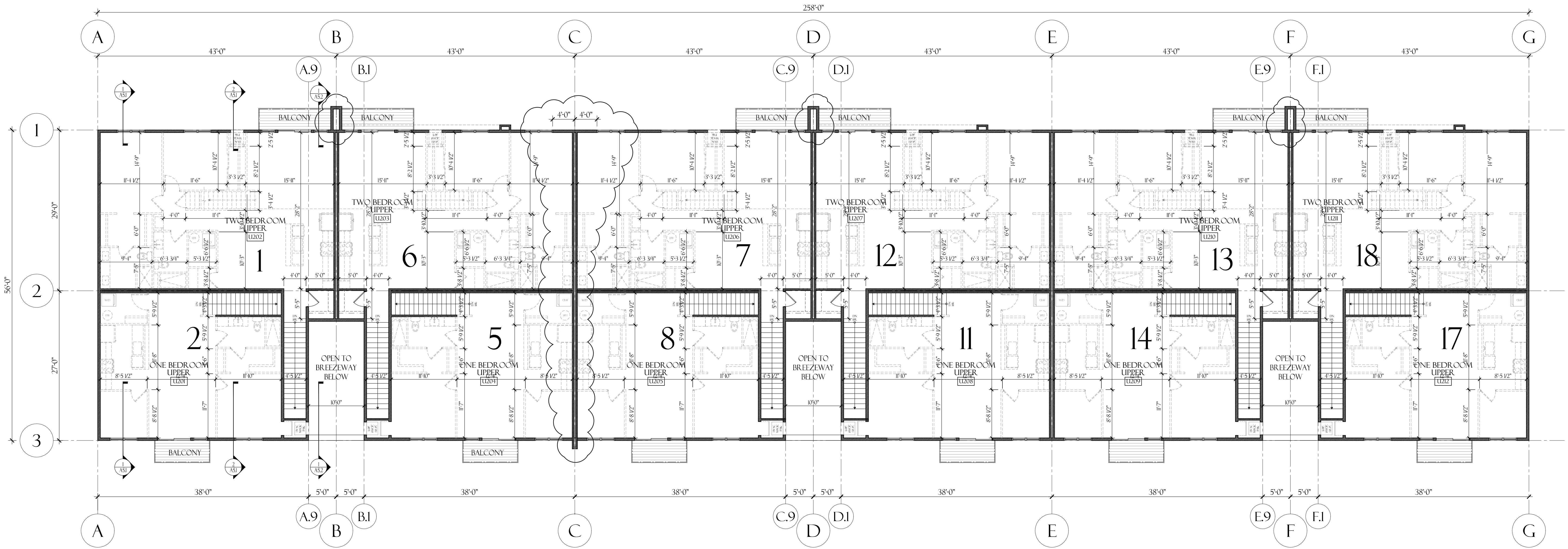
1"=40'

GENERAL SITE WORK NOTES:

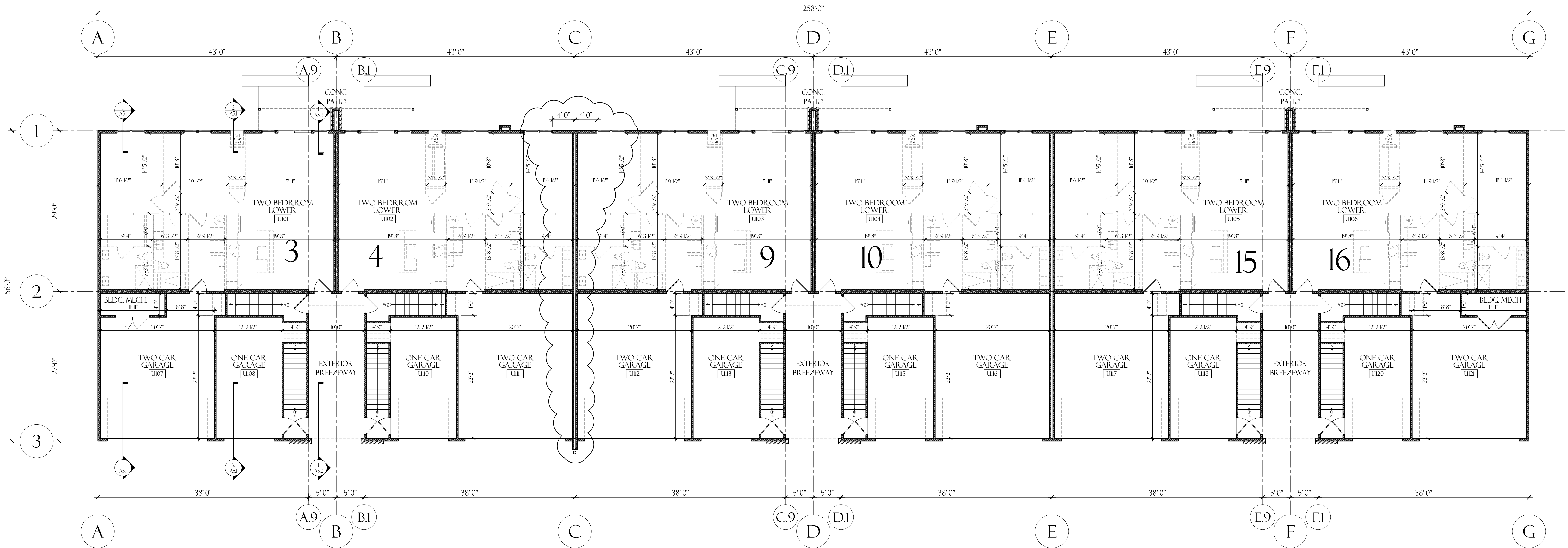
- ALL DISTURBED AREAS SHALL BE TOPSOILED (4" MIN.), FERTILIZED, SEEDED AND MULCH.
- THE SEED MIXTURE SHALL BE WIS DOT MIXTURE #10 APPLIED AT A RATE OF 3 POUNDS/1,000 SQUARE FEET.
- ALL SLOPES EXCEEDING 4:1 SHALL BE EROSION MATED PER DETAIL SHOWN.
- ALL EROSION CONTROL DEVICES SHOWN HEREIN WILL BE MAINTAINED UNTIL AT LEAST 80% OF THE DISTURBED AREA OF THE SITE HAS BEEN STABILIZED. ANY DISTURBED AREAS AND STOCKPILES LEFT INACTIVE FOR SEVEN DAYS SHALL BE TEMPORARILY SEEDED AND MULCHED.
- ALL CONSTRUCTION TRAFFIC WILL BE LIMITED TO ACCESS THE SITE OVER TRACKING PAD PROVIDED.
- ALL END SECTIONS SHALL INCLUDE PREFABRICATED GRATES. PIPE INLETS SHALL HAVE GRATING PLACES VERTICALLY AND PIPE OUTLETS SHALL HAVE GRATING PLACED HORIZONTALLY.
- GRADING CONTRACTOR SHALL BE RESPONSIBLE TO CONTRACT LANDSCAPE CONTRACTOR TO RESTORE ALL AREAS OF CONSTRUCTION SITE.





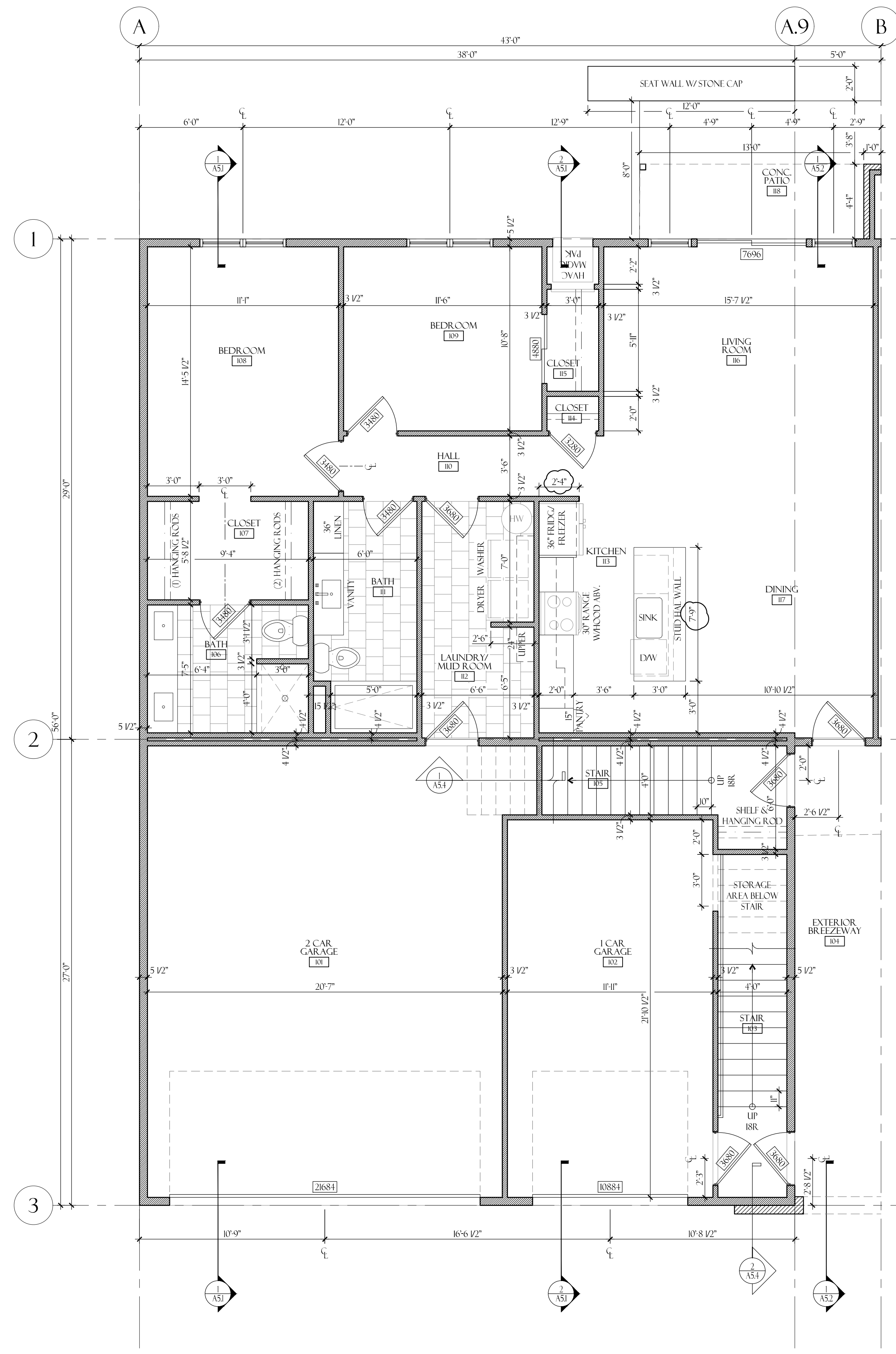


2 OVERALL UPPER LEVEL FLOOR PLAN  
SCALE: 1/8"=1'-0"

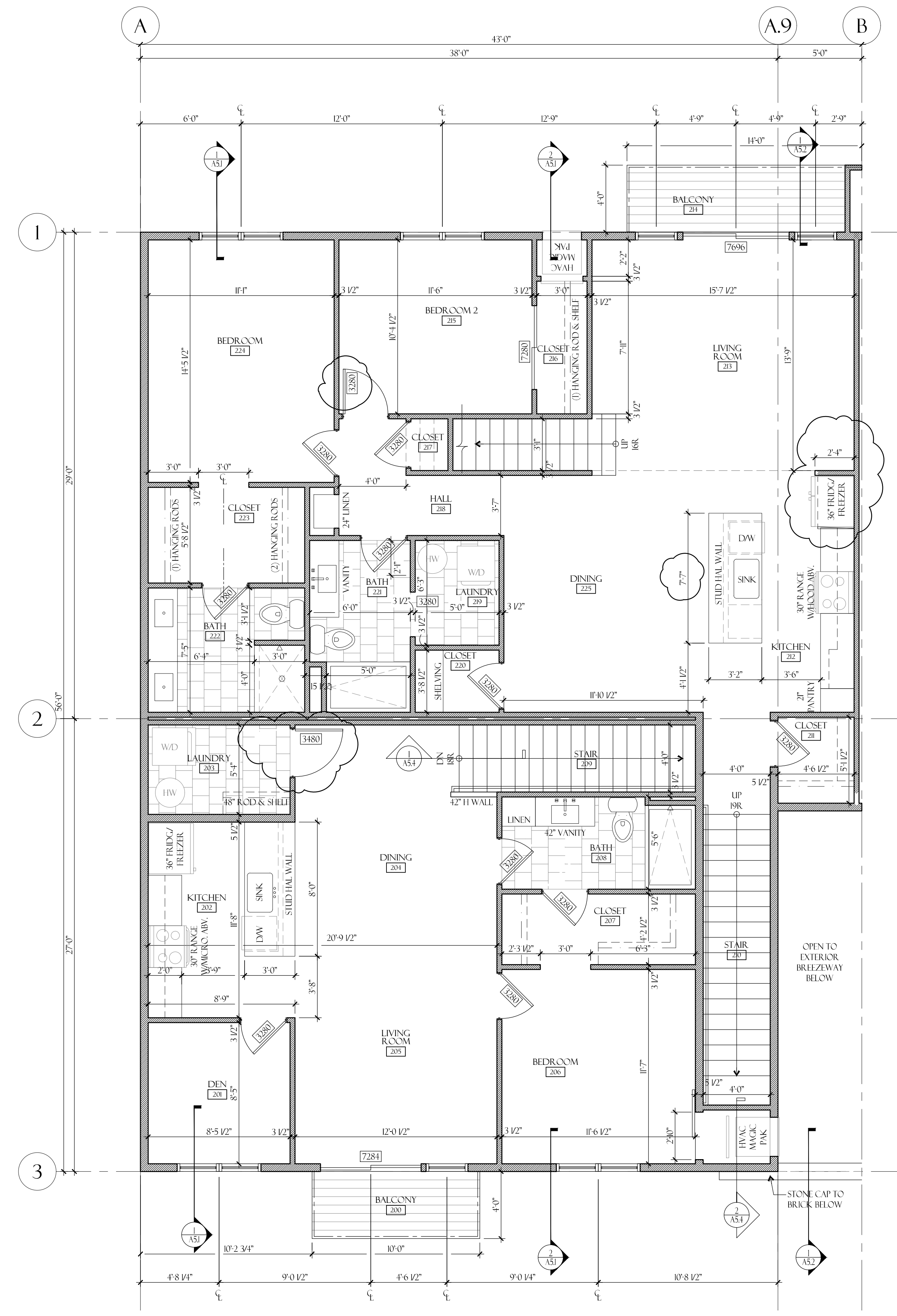


1 OVERALL MAIN LEVEL FLOOR PLAN  
SCALE: 1/8"=1'-0"

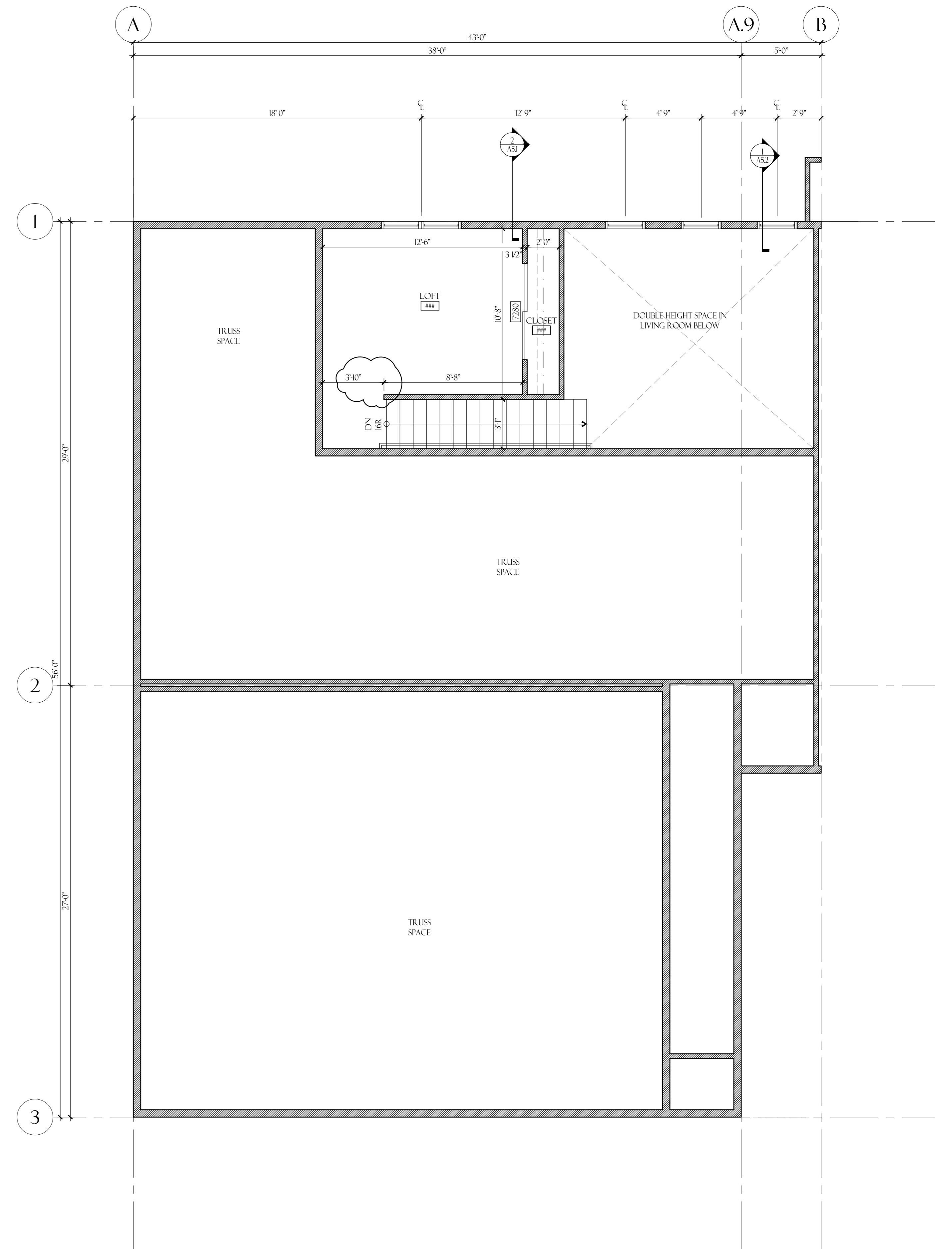




1 MAIN LEVEL FLOOR PLAN  
SCALE 1/4"=1'-0"



2 UPPER LEVEL FLOOR PLAN  
SCALE 1/4"=1'-0"



1 LOFT LEVEL FLOOR PLAN  
SCALE: 1/8" = 1'-0"

# Roof Heights







VISION  
ARCHITECTURE, LLC

Updated design with all asphalt roofs





Updated design with all asphalt roofs



VISION  
ARCHITECTURE, LLC















3



One Bedroom Unit





Two Bedroom Unit





Two and Three Bedroom Master Bath





Three Bedroom Unit





Three Bedroom Unit





Three Bedroom Unit





**COMMUNITY DEVELOPMENT ITEM REVIEW SHEET**

Date: 1/29/2021  
Case Number: PDD 2021-0002  
Anticipated Planning Commission Date: 2/16/2021  
Comments Due back to Planning: 2/10/2021  
Planner Assigned: Andrew J. Vissers  
Reviewer: Thad Majkowski  
Department: Engineering-Public Works  
Applicant/Contact: Ryan Van Straten – 920-562-1481

Description: Preliminary PDD (Big Picture) Expanding the Crystal lake Apartment Complex. Additional access point to Hoffman Road (not sure if it is full access or emergency only). Adding 138 units to an already 238 unit community. Single-family lots along Hoffman Road. Looking for comments that would prevent project from developing this way or things to keep in mind if it advances to final PDD and Site Plan Review (more details).  
Exit to Hoffman Rd – due to the number of units, a second exit on to Hoffman Rd should be reviewed.

---

The plans do not show the water main system. That should be shown and looped to Hoffman Rd, two locations, access road and the far west end through an easement to loop the system. Provide the preliminary routing, hydrant locations for the Fire Dept, valves and looping for review.

---

The plans do not show sanitary sewer system. Not sure if it will be extended off the existing sewer in the development or off Hoffman Road. Provide the preliminary routing and grades for review.

---

Storm Water Management – Preliminary layout conceptually appears to work, full Storm Water Management Plan will be required.

---

All permit and set backs from the East River Floodway to be reviewed. Filling in a Floodplain to be reviewed.

---

Wetland Delineation to be completed along with set backs.

---

Floodproofing based on 100 yr event.

---

East River Trail extension, is there enough room for the Trail on unfilled land? Elevation a concern same as the Trail areas to the north.

COMMUNITY DEVELOPMENT ITEM REVIEW SHEET

Date: 1/29/2021  
Case Number: PDD 2021-0002  
Anticipated Planning Commission Date: 2/16/2021  
Comments Due back to Planning: 2/10/2021  
Planner Assigned: Andrew J. Vissers  
Reviewer: SHAWN Geiger  
Department: PUBLIC WORKS  
Applicant/Contact: Ryan Van Straten – 920-562-1481

Description: Preliminary PDD (Big Picture) Expanding the Crystal lake Apartment Complex. Additional access point to Hoffman Road (not sure if it is full access or emergency only). Adding 138 units to an already 238 unit community. Single-family lots along Hoffman Road. Looking for comments that would prevent project from developing this way or things to keep in mind if it advances to final PDD and Site Plan Review (more details).

---

\* REMOVE 2ND CONNECTION OF WATER SERVICE ON  
BELLEVUE ST.

---

---

---

---

---

---

---

---

---

---

---



COMMUNITY DEVELOPMENT ITEM REVIEW SHEET

Date: 1/29/2021  
Case Number: PDD 2021-0002  
Anticipated Planning Commission Date: 2/16/2021  
Comments Due back to Planning: 2/10/2021  
Planner Assigned: Andrew J. Vissers  
Reviewer: ADAM WASZAK  
Department: PARKS, RECREATION & FORESTRY  
Applicant/Contact: Ryan Van Straten – 920-562-1481  
Description: Preliminary PDD (Big Picture) Expanding the Crystal lake Apartment Complex. Additional access point to Hoffman Road (not sure if it is full access or emergency only). Adding 138 units to an already 238 unit community. Single-family lots along Hoffman Road. Looking for comments that would prevent project from developing this way or things to keep in mind if it advances to final PDD and Site Plan Review (more details).

---

- WOULD BE INTERESTED IN LAND DEDICATION IN LIEU  
OF IMPACT FEES. EXPANDING THE EASEMENT ALONG  
THE EAST RIVER AND AROUND PARCEL B-300-4  
COULD SUPPORT A FUTURE EXTENSION TO THE  
EAST RIVER TRAIL.

---

---

---

---

---



Proudly Serving the communities of Allouez, Bellevue, and Green Bay

---

Green Bay Metro Fire Department

David Litton  
Fire Chief

February 2<sup>nd</sup> 2021

Ryan Van Straten  
Alliance Management  
1530 Crystal Lake Circle  
Green Bay, WI 54311

Crystal Lake Apartments Expansion Project  
Parcel Number B-296 and B-300  
2526 Bellevue Street  
Bellevue, WI 54311

RE: PDD Crystal Lake Apartment Expansion Project

Your PDD plans have been reviewed. This letter reflect only those items that are necessary to continue the Building & Fire Code reviews, and does not contain the findings of the review or note the corrections that may be necessary once the review is completed; nor does it address the needs of any other village division or department.

Please review the following conditions which are conditional for the Release for construction. The code references in the following comments refer to the 2015 editions of the International Building Code (IBC), the 2015 edition of International Fire Code, the Wisconsin Department of Safety & Professional Services, & Administrative Code (WDSPPS), and the Village of Bellevue local ordinances.

The following is a list of issues that will have to be addressed in the site plan to move the Crystal Lake Apartment Expansion Project forward.

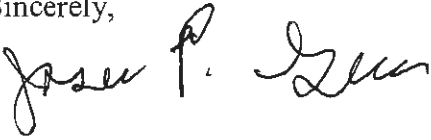
1. The Fire Chief has also reviewed the project and has indicated that the access road from the development project out onto Hoffman Road will stay intact. IFC Chapter #3.
2. The project will require private fire hydrants because of the size and scope of the project. IFC Chapter #3.
3. The project will require way-fare signs on the road to indicate building locations and addresses. IFC Chapter #3.
4. The roads construction within the projects shall meet the specs of the most challenged apparatus in the Green Bay Metro Fire Department Fleet (See Attached specs) IFC Chapter #3.

Other minor items such as Knox box locations, FDC placement, and FDC specs would be addressed in a later site plan review.

\*Note-Any future fire protection plans where required by the AHJ for new construction, modification, or rehabilitation, construction documents and shop drawings shall be submitted, reviewed, and approved prior to the start of such work.

If you have any questions or comments regarding this review, please contact me by email or by phone as noted below.

Sincerely,

A handwritten signature in black ink, appearing to read "Joe Gabe". The signature is written in a cursive style with a large initial "J" and "G".

Captain Joe Gabe-IAAI-CFI  
Green Bay Metro Fire Marshal's Office  
501 South Washington Street  
Green Bay, WI 54301  
Phone-920-448-3289  
[joe.gabe@greenbaywi.gov](mailto:joe.gabe@greenbaywi.gov)

COBMEID ENGINE

## General Information / DNA

Job Number: 27815

Unit # 1  
 # of Units 1  
 PWO 17229336  
 VIN 4P1BAAFF2FA015004  
 Cab Cab, Velocity 2010, 7010 Raised Roof  
 Engine Engine, Cummins ISL9, 450 hp, 1250 ft-lb, W/OBD, EPA 2013, Imp/Vel  
 Overall Height  
 Foam Systems Foam Sys, Husky 12, Single Agent  
 Horsepower  
 Front Axle 2314079 Axle, Front, Oshkosh TAK-4, Non Drive, 22,800 lb,  
 Rear Axle RS26185NFKF447-538 Axle, Rear, Meritor RS26-185, 27,000 lb, Imp/Vel/D  
 Front Tire Tires, Front, Michelin, XZY3 (wb), 425/65R22.50, 20 ply  
 Rear Tire Tires, Rear, Michelin, XZY3, 12R22.50, 16 ply, Single, Fire-Service Speed Rating  
 Seating Capacity 5  
 Tank Tank, Water, 750 Gallon, Poly, Long  
 Aerial  
 Generator  
 Compt. Door Doors, Lap w/ "D" Handles - SS, Side Compartments  
 Custom Features  
 Pressure Governor



## Weights

Gross Vehicle Weight Rating	49800	Rear Weight Without Water	16200
Gross Weight Without Water	33825	Rear Weight With Water	22300
Gross Weight With Water	40325		
Front Weight Rating	22800		
Front Weight Without Water	17625		
Front Weight With Water	18025		
Rear Weight Rating	27000		

## Paint Codes

Body Primary Paint Color	# 90 RED BC
Body Secondary Paint Color	# 10 WHITE BC
Aerial Paint Color	

## Serial Numbers

Engine	73736348	Multiplex		Rear Tire 3
Transmission	6511263333	Front Axle 1	N/A	Rear Tire 4
Transfer Case	N/A	Rear Axle 1	LRS00777555	Rear Tire 5
Generator	N/A	Rear Axle 2		Rear Tire 6
Alternator	14J02	Front Tire 1	HEHXK9FX3414	Rear Tire 7
PTO		Front Tire 2		Rear Tire 8
Pump	H05780	Rear Tire 1	B63XPAKX4113	Trail Tire 1
Tank		Rear Tire 2		Trail Tire 2
Aerial				Trail Tire 3
Side Roll Prot.	See Service Bulletin #189			Trail Tire 4

## Customer Contact Information

Customer Name GREEN BAY FD  
 City GREEN BAY  
 State WI  
 Country US  
 Zip 54301

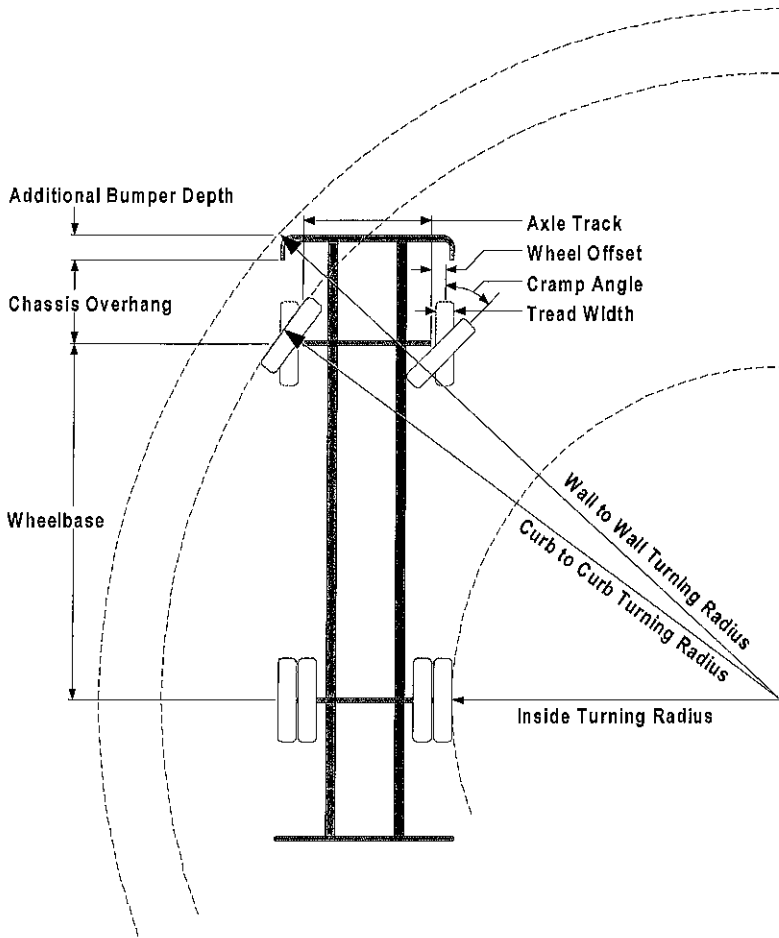
## Dealer Information

Dealer Name FIRE APPARATUS & EQUIPMENT INC\*  
 Salesman NILES LESLIE  
 Contract Admin BONS, GERARD W



# Turning Performance Analysis

2/17/2015



### Parameters:

Inside Cramp Angle:	45.00 °
Axle Track:	82.92 in.
Wheel Offset:	5.25 in.
Tread Width:	16.60 in.
Chassis Overhang:	78.00 in.
Additional Bumper Depth:	26.00 in.
Front Overhang:	104.00 in.
Wheelbase:	226.00 in.

### Calculated Turning Radii:

Inside Turn:	17 ft. 8 in.
Curb to Curb:	33 ft. 0 in.
Wall to Wall:	38 ft. 5 in.

### Comments:

27815

Components	PRIDE #	Description
Front Axle	0508849	Axle, Front, Oshkosh TAK-4, Non Drive, 22,800 lb, Imp/Vel
Front Tires	0078244	Tires, Michelin, 425/65R22.50 20 ply XZY 3 tread
Front Bumper	0123627	Bumper, 26" extended, Imp/Vel

### Notes:

Actual Inside Cramp Angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for a 9.00 inch curb.



---

**Definitions:**

---

Inside Cramp Angle	Maximum turning angle of the front inside tire.
Axle Track	King-pin to king-pin distance of the front axle.
Wheel Offset	Offset from the center-line of the wheel to the king-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance from the center-line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Depth	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicle's front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle inside of which the vehicle's tires can turn. This measurement assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle inside of which the entire vehicle can turn. This measurement takes into account any front overhang due to the chassis, bumper extensions and/or aerial devices.

# Pierce Job# 27815

Overall Length = 35' 6"

Width = 10'

Overall Height = 10' 1"

# GBMFD LADDER

## General Information / DNA

Job Number: 23211

Unit # 1  
# of Units 2  
PWO 11645638  
VIN 4P1CA01H4AA011178  
Cab Cab, Arrow-XT, 103" H, 67"  
Engine Engine, DDC Series 60, 14.0L 515 hp, 1650 Torque, AXT, 2007 Transition



### Overall Height

### Foam Systems

### Horsepower

Front Axle 1478780 Axle, Front, Oshkosh TAK-4, Non Drive, 22,800 lb,  
Rear Axle RP26185NFPF298 Axle, Rear, Meritor RT52-185, 54,000 lb  
Front Tire Tires, Front, Goodyear, G296 MSA, 425/65R22.50, 20 ply  
Rear Tire Tires, Rear, Goodyear, G287 MSA, 12R22.50, 16 ply, Tandem

Seating Capacity 5

### Tank

Aerial Aerial, 100' Pierce Platform

Generator Generator, Westerbeke 12.5 kW BTDBR, Diesel (10,500W Cont. Rating)

Compt. Door Doors, Lap w/"D" Handles - Side Compts

### Custom Features

### Pressure Governor

## Weights

Gross Vehicle Weight Rating 76800  
Gross Weight Without Water 67030  
Gross Weight With Water 0  
Front Weight Rating 22800  
Front Weight Without Water 19330  
Front Weight With Water 0  
Rear Weight Rating 54000

Rear Weight Without Water 47700  
Rear Weight With Water 0

## Paint Codes

Body Primary Paint Color #90 RED BC  
Body Secondary Paint Color #10 WHITE BC  
Aerial Paint Color #10 WHITE

## Serial Numbers

Engine 06R1022627  
Transmission 6610301750  
Transfer Case N/A  
Generator 55552  
Alternator 11830  
PTO  
Pump N/A  
Tank  
Aerial 23211-01  
Side Roll Prot. See Service Bulletin #189

Multiplex  
Front Axle 1 N/A  
Rear Axle 1 NWK00246771  
Rear Axle 2  
Front Tire 1 MC9M6PEW2110  
Front Tire 2  
Rear Tire 1 MC3XKPOW0910  
Rear Tire 2 MC3XKPOW1210

Rear Tire 3  
Rear Tire 4  
Rear Tire 5  
Rear Tire 6  
Rear Tire 7  
Rear Tire 8  
Trail Tire 1  
Trail Tire 2  
Trail Tire 3  
Trail Tire 4

## Customer Contact Information

Customer Name GREEN BAY FD  
City GREEN BAY  
State WI  
Country US  
Zip 54301

## Dealer Information

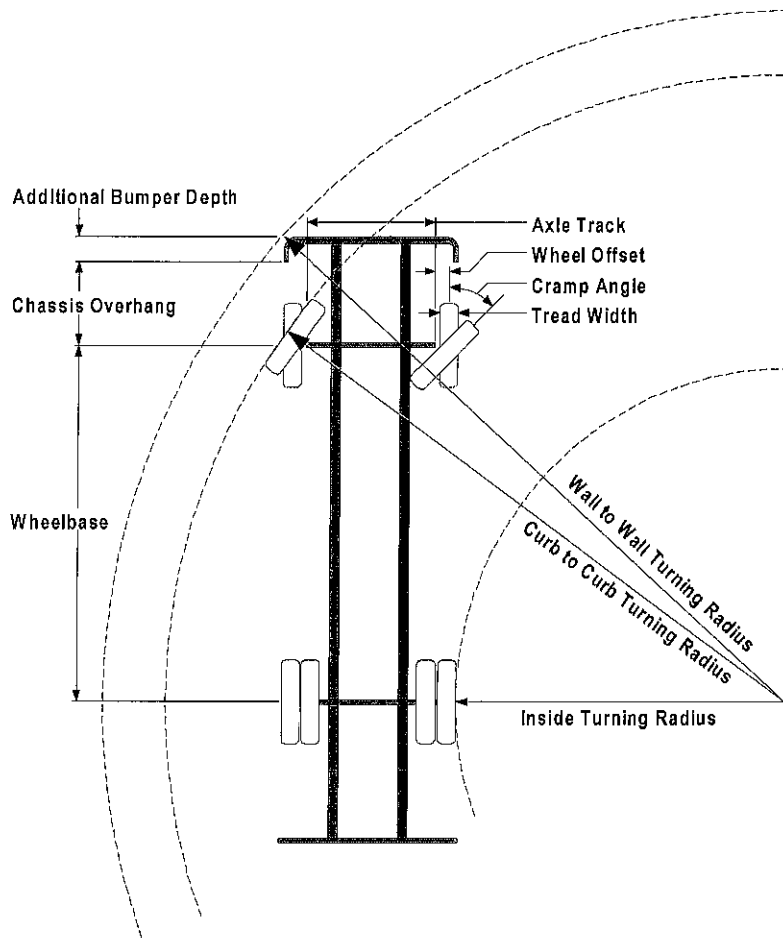
Dealer Name FIRE APPARATUS & EQUIPMENT INC  
Salesman NILES LESLIE  
Contract Admin GODINA, JESSICA





# Turning Performance Analysis

2/17/2015



### Parameters:

Inside Cramp Angle:	45.00 °
Axle Track:	82.92 in.
Wheel Offset:	5.25 in.
Tread Width:	17.40 in.
Chassis Overhang:	68.99 in.
Additional Bumper Depth:	7.00 in.
Front Overhang	149.60 in.
Wheelbase:	254.00 in.

### Calculated Turning Radii:

Inside Turn:	20 ft. 0 in.
Curb to Curb:	36 ft. 4 in.
Wall to Wall:	44 ft. 7 in.

### Comments:

Aerial Application

23211

Components	PRIDE #	Description
Front Axle	0018453	Axle, Front, Oshkosh TAK-4, Non Drive, 22,800 lb, DLX/Enf/Qtm/AXT
Front Tires	0052978	Tires, Goodyear, 425/65R22.50 20 ply G286 tread
Chassis	0534428	Arrow-XT Chassis, PAP/SkyArm/Midmount MUX
Front Bumper	0550026	Bumper, Non-extended, AXT
Aerial Device	0022160	Aerial, 100' Pierce Platform

### Notes:

Actual Inside Cramp Angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for a 9.00 inch curb.



---

**Definitions:**

---

Inside Cramp Angle	Maximum turning angle of the front inside tire.
Axle Track	King-pin to king-pin distance of the front axle.
Wheel Offset	Offset from the center-line of the wheel to the king-pin.
Tread Width	Width of the tire tread.
Chassis Overhang	Distance from the center-line of the front axle to the front edge of the cab. This does not include the bumper depth.
Additional Bumper Depth	Depth that the bumper assembly adds to the front overhang.
Wheelbase	Distance between the center lines of the vehicle's front and rear axles.
Inside Turning Radius	Radius of the smallest circle around which the vehicle can turn.
Curb to Curb Turning Radius	Radius of the smallest circle inside of which the vehicle's tires can turn. This measurement assumes a curb height of 9 inches.
Wall to Wall Turning Radius	Radius of the smallest circle inside of which the entire vehicle can turn. This measurement takes into account any front overhang due to the chassis, bumper extensions and/or aerial devices.

# Pierce Job# 23211x2

Overall Length = 46' 9"

Width = 9' 8"

Overall Height = 12' 2"



# MEMORANDUM

Date: March 5, 2021

---

**To:** Diane Wessel, Village Administrator  
**Cc:** Village Board  
**Fm:** Benjamin Andrews, Assistant to the Administrator  
**Re:** **PUBLIC ENGAGEMENT OPPORTUNITY – VACANCIES OF BOARDS AND COMMISSIONS**

---

The Park Commission, Ethics Board, and Zoning Board of Appeals have member vacancies, which require appointed by the Village President and confirmation by the Village Board. The Village of Bellevue is seeking volunteers who are interested in serving on either the Park Commission, Ethics Board, or Board of Appeals.



The Park Commission has one (1) available vacancies, the Ethics Board has one (1) available alternative member vacancies, and the Zoning Board of Appeals has one (1) available alternative member vacancy. Alternative members act only when a regular member is absent or abstains.

If you are interested in volunteering, submit a [Committee/Commission Volunteer Form](#) (and resume or additional information if desired) by e-mail or mail.

E-mail: [employment@villageofbellevue.org](mailto:employment@villageofbellevue.org)

Mail: Bellevue Village Office 2828 Allouez Avenue Green Bay, WI 54311

All applications will be submitted to the Village President for review.

### **Park Commission**

The Park Commission acts as an advisory body to the Village Board to develop plans and make recommendations to improve or enhance the Village park system. The Commission also is to promote and recommend the planting and care of trees in the road right-of-way and other public places. The Park Commission meets the second Monday of the month. Meetings are open to the public and are held at the Village Hall/Public Safety Building (3100 Eaton Road).

### **Ethics Board**

The Ethics Board is a body of five members appointed by the Village Board. The Ethics Board reviews charges filed against members of the Village Board or Village employees. The Ethics Board is charged with the responsibility of investigating matters brought before it and making findings of fact. The Ethics Board meets on an as-needed basis.

### **Zoning Board of Appeals**

The Zoning Board of Appeals (BOA) is a five-member body appointed by the Village Board to hear and decide appeals, interpret the Zoning Ordinance, and approve or deny variances. Another responsibility of the BOA is to provide an appeal mechanism for property owners who believe that the Village administration has made an error in interpreting the zoning ordinance. The Zoning Board of Appeals meets on the third Wednesday of each month. Meetings are open to the public and are held at the Village Hall/Public Safety Building (3100 Eaton Road).

March 10, 2021

Pre-Sale Report for

# Village of Bellevue, Wisconsin

\$8,595,000 General Obligation Corporate  
Purpose Bonds, Series 2021A



---

**Prepared by:**

Ehlers  
N21W23350 Ridgeview Parkway West,  
Suite 100  
Waukesha, WI 53188

**Advisors:**

Todd Taves, Senior Municipal Advisor  
Joe Murray, Senior Municipal Advisor

---

**BUILDING COMMUNITIES. IT'S WHAT WE DO.**

# EXECUTIVE SUMMARY OF PROPOSED DEBT

## Proposed Issue:

\$8,595,000 General Obligation Corporate Purpose Bonds, Series 2021A (“Bonds”)

## Purposes:

The proposed issue includes financing for the following purposes:

- \$775,000 for Water System Improvements. The Village expects to abate the debt service for this portion of the Bonds with revenues earned from operation of the Village’s water system.
- \$2,400,000 for Sewer System Improvements. The Village expects to abate the debt service for this portion of the Bonds with revenues earned from operation of the Village’s sewer system.
- \$1,845,000 for Street Improvements. The Village expects to partially abate the debt service for this portion of the Bonds with special assessment revenues. The balance of the debt service due will be paid from ad valorem property taxes.
- \$1,085,000 to refund (refinance) the balance due on the Village’s State Trust Fund Loan obtained in 2017 to pay the cost of improvements made in Tax Incremental District (“TID”) No. 1. The current loan interest rate is 4.00%. Refinancing is expected to reduce debt service expense by approximately \$222,568 over the next 14 years. The Village expects to abate the debt service for this portion of the Bonds with TID revenues. Savings resulting from this refinancing will benefit the TID’s cash flow.
- \$2,490,000 to refund (refinance) the balance due on the Village’s Series 2013A General Obligation Street Improvement and Refunding Bonds. Interest rates on the existing bond range from 1.550% to 2.250%. Refinancing is expected to reduce debt service expense by approximately \$57,451 over the next 6 years. Debt service will be paid from ad valorem property taxes. Savings resulting from this refinancing will reduce the Village’s future debt service levy requirement.

## Authority:

The Bonds are being issued pursuant to Wisconsin Statute 67.04 and will be general obligations of the Village for which its full faith, credit and taxing powers are pledged. The Bonds count against the Village’s General Obligation Debt Capacity Limit of 5% of total Village Equalized Valuation. Following issuance of the Bonds, the Village’s total General Obligation debt principal outstanding will be \$24,605,000, which is 32% of its limit. Remaining General Obligation Borrowing Capacity will be approximately \$51,660,285.

### **Term/Call Feature:**

The Bonds are being issued for a term of 20 years. Principal on the Bonds will be due on March 1 in the years 2022 through 2041. Interest is payable every six months beginning March 1, 2022. The Bonds will be subject to prepayment at the discretion of the Village on March 1, 2029 or any date thereafter.

### **Bank Qualification:**

Because the Village is expecting to issue no more than \$10,000,000 in tax exempt debt during the calendar year, the Village will be able to designate the Bonds as “bank qualified” obligations. Bank qualified status broadens the market for the Bonds, which can result in lower interest rates.

### **Rating:**

The Village’s most recent bond issues were rated by Moody’s Investors Service. The current ratings on those bonds are “Aa2”. The Village will request a new rating for the Bonds.

If the winning bidder on the Bonds elects to purchase bond insurance, the rating for the issue may be higher than the Village’s bond rating in the event that the bond rating of the insurer is higher than that of the Village.

### **Basis for Recommendation:**

Based on our knowledge of your situation, your objectives communicated to us, our advisory relationship as well as characteristics of various municipal financing options, we are recommending the issuance of Bonds as a suitable option based on:

- The expectation this form of financing will provide the overall lowest cost of funds while also meeting the Village’s objectives for term, structure, and optional redemption.
- The Village having adequate General Obligation debt capacity to undertake this financing and anticipating any potential rating impacts.
- The existing General Obligation pledge securing the obligations to be refunded.

### **Method of Sale/Placement:**

We will solicit competitive bids for the purchase of the Bonds from underwriters and banks and will include an allowance for discount bidding in the terms of the issue. The discount is treated as an interest item and provides the underwriter with all or a portion of their compensation in the transaction.

If the Bonds are purchased at a price greater than the minimum bid amount (maximum discount), the unused allowance may be used to reduce your borrowing amount.



## **Premium Pricing:**

In some cases, investors in municipal bonds prefer “premium” pricing structures. A premium is achieved when the coupon for any maturity (the interest rate paid by the issuer) exceeds the yield to the investor, resulting in a price paid that is greater than the face value of the bonds. The sum of the amounts paid more than face value is considered “reoffering premium.” The underwriter of the bonds will retain a portion of this reoffering premium as their compensation (or “discount”) but will pay the remainder of the premium to the Village.

Any premium amount received for that portion of the Bond being issued for the purpose of refunding existing debt will be used to reduce the issue size. Any premium amount received for the remainder of the Bonds that is in excess of the underwriting discount and any capitalized interest amounts must be placed in the debt service fund and used to pay a portion of the interest payments due on the Bonds. These adjustments may slightly change the true interest cost of the original bid, either up or down.

The amount of premium allowed can be restricted in the bid specifications. Restrictions on premium may result in fewer bids but may also eliminate large adjustments on the day of sale and unintended results with respect to debt service payment impacts. Ehlers will identify appropriate premium restrictions for the Bonds intended to achieve the Village’s objectives for this financing.

## **Other Considerations:**

The Bonds will be offered with the option of the successful bidder utilizing a term bond structure. By offering underwriters the option to “term up” some of the maturities at the time of the sale, it gives them more flexibility in finding a market for your Bonds. This makes your issue more marketable, which can result in lower borrowing costs. If the successful bidder utilizes a term bond structure, we recommend the Village retain a paying agent to handle responsibility for processing mandatory redemption/call notices associated with term bonds.

## **Review of Existing Debt:**

We have reviewed all outstanding indebtedness for the Village and find that, other than the obligations proposed to be refunded by the Bonds, there are no other refunding opportunities at this time.

We will continue to monitor the market and the call dates for the Village’s outstanding debt and will alert you to any future refunding opportunities.

## **Continuing Disclosure:**

Because the Village has more than \$10,000,000 in outstanding debt (including this issue) and this issue is over \$1,000,000, the Village will be agreeing to provide certain updated Annual Financial Information and its Audited Financial Statement annually, as well as providing notices of the occurrence of certain reportable events to the Municipal Securities Rulemaking Board (the “MSRB”), as required by rules of the Securities and Exchange Commission (SEC). The Village is already obligated to provide such reports for its existing bonds and has contracted with Ehlers to prepare and file the reports.

## Arbitrage Monitoring:

The Village must ensure compliance with certain sections of the Internal Revenue Code and Treasury Regulations (“Arbitrage Rules”) throughout the life of the issue to maintain the tax-exempt status of the Bonds. These Arbitrage Rules apply to amounts held in construction, escrow, reserve, debt service account(s), etc., along with related investment income on each fund/account. IRS audits will verify compliance with rebate, yield restriction and records retention requirements within the Arbitrage Rules. The Village’s specific arbitrage responsibilities will be detailed in the Certificate With Respect to Arbitrage and Other Tax Matters (the “Tax Compliance Document”) prepared by your Bond Attorney and provided at closing. The Bonds may qualify for one or more exception(s) to the Arbitrage Rules by meeting 1) small issuer exception, 2) spend down requirements, 3) bona fide debt service fund limits, 4) reasonable reserve requirements, 5) expenditure within an available period limitations, 6) investments yield restrictions, 7) de minimis rules, or; 8) borrower limited requirements. We recommend that the Village review its specific responsibilities related to the Bonds with an arbitrage expert to utilize one or more of the exceptions listed above.

## Investment of Bond Proceeds:

Ehlers can assist the Village in developing a strategy to invest your Bond proceeds until the funds are needed to pay project costs or are needed to redeem the refunded obligations.

## Risk Factors:

**Planned Abatement:** The Village expects to abate a portion of the Village debt service with tax incremental revenues, special assessments, water utility revenues and sewer utility revenues. In the event these revenues are not available, the Village is obligated to levy property taxes in an amount sufficient to make all debt payments.

**Current Refunding:** The Bonds are being issued to refinance prior Village debt obligations. Those prior debt obligations are callable now whereas the new Bonds will not be pre-payable until March 1, 2029. This refunding is being undertaken based in part on an assumption that the Village does not expect to pre-pay off this debt prior to the new call date and that market conditions warrant the refunding at this time.

## Other Service Providers:

This debt issuance will require the engagement of other public finance service providers. This section identifies those other service providers, so Ehlers can coordinate their engagement on your behalf. Where you have previously used a particular firm to provide a service, we have assumed that you will continue that relationship. For services you have not previously required, we have identified a service provider. Fees charged by these service providers will be paid from proceeds of the obligation, unless you notify us that you wish to pay them from other sources. Our pre-sale bond sizing includes a good faith estimate of these fees, but the final fees may vary. If you have any questions pertaining to the identified service providers or their role, or if you would like to use a different service provider for any of the listed services please contact us.

**Bond Counsel:** Griggs Law Office LLC.

**Paying Agent:** Bond Trust Services if Terms Bonds used.

**Rating Agency:** Moody’s Investors Service, Inc.

## PROPOSED DEBT ISSUANCE SCHEDULE

Pre-Sale Review by Village Board:	March 10, 2021
Distribute Official Statement:	Week of March 29, 2021
Due Diligence Call to review Official Statement:	Week of March 29, 2021
Conference with Rating Agency:	Week of March 29, 2021
Village Board Meeting to Award Sale of the Bonds:	April 14, 2021
Estimated Closing Date:	May 5, 2021
Redemption Date for the 2017 State Trust Fund Loan Being Refunded:	May 17, 2021
Redemption Date for the Series 2013A Bonds Being Refunded:	May 17, 2021

### Attachments

- Estimated Sources and Uses of Funds
- Estimated Proposed Debt Service Schedules
- Estimated Debt Service Comparison
- Bond Buyer Index

## EHLERS' CONTACTS

Todd Taves, Senior Municipal Advisor	(262) 796-6173
Joe Murray, Senior Municipal Advisor	(262) 796-6196
Peter Curtin, Public Finance Analyst	(262) 796-6187
Beth Mueller, Financial Analyst	(651) 697-8553

The Preliminary Official Statement for this financing will be sent to the Village Board at their home or email address for review prior to the sale date.



## Proposed 2021- 2022 Capital Projects Financing Plan

### Pre-Sale Estimate

	<i>Purpose #1</i>	<i>Purpose #2</i>	<i>Purpose #3</i>	<i>Purpose #4</i>		<b>G.O. Corp Purp Bonds Series 2021A</b>
	Water System Improvements	Sewer System Improvements	Street Improvements	Refinance 2017 STFL (TID #1)	Refinance 2013A G.O. Bonds (Tax Levy)	
<b>Capital Projects &amp; Equipment<sup>1</sup></b>						
Water System Improvements	758,500					758,500
Sewer System Improvements		2,348,936				2,348,936
Street & Sidewalk Improvements			2,954,715			2,954,715
Less: Prior Issue Debt Proceeds			(500,000)			(500,000)
Less: Bridge Aids			(30,500)			(30,500)
Less: Federal/State Grants			(618,000)			(618,000)
<b>Subtotal Project Costs</b>	<b>758,500</b>	<b>2,348,936</b>	<b>1,806,215</b>	<b>0</b>	<b>0</b>	<b>4,913,651</b>
<b>Refunding</b>						
Deposit to Current Refunding Fund				1,061,787	2,459,904	3,521,692
Prior Issue Debt Service Funds					(23,458)	(23,458)
<b>Subtotal Refunding</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1,061,787</b>	<b>2,436,447</b>	<b>3,498,234</b>
<b>Estimated Issuance Expenses</b>						
Municipal Advisor (Ehlers)	3,679	11,393	8,758	5,150	11,820	40,800
Bond Counsel (Tom Griggs Law Offices)	1,623	5,026	3,864	2,272	5,215	18,000
Maximum Underwriter's Discount <sup>2</sup>	9,688	30,000	23,063	13,563	31,125	107,438
Paying Agent (BTSC, if Term Bond Bid)	77	237	182	107	246	850
Rating Fee (Moody's Investors Service)	1,623	5,026	3,864	2,272	5,215	18,000
<b>TOTAL TO BE FINANCED</b>	<b>775,189</b>	<b>2,400,618</b>	<b>1,845,946</b>	<b>1,085,152</b>	<b>2,490,067</b>	<b>8,596,973</b>
Estimated Interest Earnings <sup>3</sup>	(379)	(1,174)	(903)	0	0	(2,456)
Rounding	190	556	(43)	(152)	(67)	483
<b>NET BOND SIZE</b>	<b>775,000</b>	<b>2,400,000</b>	<b>1,845,000</b>	<b>1,085,000</b>	<b>2,490,000</b>	<b>8,595,000</b>

**NOTES:**

<sup>1</sup>Amounts for projects to be financed provided by Village on 2-3-2021.

<sup>2</sup>Maximum discount allowance equal to 1.25% of par amount of the Bonds, and 1.00% of the par amount of the Notes.

<sup>3</sup>Estimated interest earnings assume six months temporary investment of proceeds at 0.10% (January 2021 LGIP yield).



**Projected Series 2021 G.O. Corporate Purpose Bond Debt Service Breakdown by Purpose**

Estimated New Issue Debt Service																									
YEAR	Water System Improvements \$775,000				Sewer System Improvements \$2,400,000				Street Improvements \$1,845,000				Refinance 2017 STFL (TID No. 1) \$1,085,000				Series 2013A Refunding - Levy \$2,490,000				G.O. Corporate Purpose Bonds, Series 2021A \$8,595,000 Dated 5-5-2021				YEAR
	Prin (3/1)	Est. Rate	Interest	Total	Prin (3/1)	Est. Rate	Interest	Total	Prin (3/1)	Est. Rate	Interest	Total	Prin (3/1)	Est. Rate	Interest	Total	Prin (3/1)	Est. Rate	Interest	Total	Prin (3/1)	Est. Rate <sup>1</sup>	Interest	Total	
2021				0				0				0				0				0				0	2021
2022	35,000	0.450%	12,429	47,429	100,000	0.450%	38,490	138,490	175,000	0.450%	17,780	192,780	70,000	0.450%	13,164	83,164	450,000	0.450%	18,037	468,037	830,000	0.450%	99,901	929,901	2022
2023	35,000	0.500%	9,215	44,215	110,000	0.500%	28,555	138,555	180,000	0.500%	12,508	192,508	75,000	0.500%	9,573	84,573	475,000	0.500%	11,195	486,195	875,000	0.500%	71,045	946,045	2023
2024	35,000	0.550%	9,031	44,031	110,000	0.550%	27,978	137,978	180,000	0.550%	11,563	191,563	75,000	0.550%	9,179	84,179	375,000	0.550%	8,976	383,976	775,000	0.550%	66,726	841,726	2024
2025	35,000	0.600%	8,830	43,830	110,000	0.600%	27,345	137,345	185,000	0.600%	10,513	195,513	75,000	0.600%	8,748	83,748	390,000	0.600%	6,775	396,775	795,000	0.600%	62,210	857,210	2025
2026	35,000	0.650%	8,611	43,611	110,000	0.650%	26,658	136,658	185,000	0.650%	9,356	194,356	75,000	0.650%	8,279	83,279	395,000	0.650%	4,321	399,321	800,000	0.650%	57,225	857,225	2026
2027	35,000	0.750%	8,366	43,366	115,000	0.750%	25,869	140,869	185,000	0.750%	8,061	193,061	75,000	0.750%	7,754	82,754	405,000	0.750%	1,519	406,519	815,000	0.750%	51,569	866,569	2027
2028	35,000	0.850%	8,086	43,086	115,000	0.850%	24,949	139,949	185,000	0.850%	6,581	191,581	75,000	0.850%	7,154	82,154			0	0	410,000	0.850%	46,770	456,770	2028
2029	35,000	0.950%	7,771	42,771	115,000	0.950%	23,914	138,914	190,000	0.950%	4,893	194,893	80,000	0.950%	6,455	86,455			0	0	420,000	0.950%	43,033	463,033	2029
2030	40,000	1.000%	7,405	47,405	115,000	1.000%	22,793	137,793	190,000	1.000%	3,040	193,040	80,000	1.000%	5,675	85,675			0	0	425,000	1.000%	38,913	463,913	2030
2031	40,000	1.100%	6,985	46,985	120,000	1.100%	21,558	141,558	190,000	1.100%	1,045	191,045	80,000	1.100%	4,835	84,835			0	0	430,000	1.100%	34,423	464,423	2031
2032	40,000	1.200%	6,525	46,525	120,000	1.200%	20,178	140,178			0	0	80,000	1.200%	3,915	83,915			0	0	240,000	1.200%	30,618	270,618	2032
2033	40,000	1.300%	6,025	46,025	120,000	1.300%	18,678	138,678			0	0	80,000	1.300%	2,915	82,915			0	0	240,000	1.300%	27,618	267,618	2033
2034	40,000	1.400%	5,485	45,485	120,000	1.400%	17,058	137,058			0	0	80,000	1.400%	1,835	81,835			0	0	240,000	1.400%	24,378	264,378	2034
2035	40,000	1.500%	4,905	44,905	125,000	1.500%	15,280	140,280			0	0	85,000	1.500%	638	85,638			0	0	250,000	1.500%	20,823	270,823	2035
2036	40,000	1.600%	4,285	44,285	125,000	1.600%	13,343	138,343			0	0			0	0			0	0	165,000	1.600%	17,628	182,628	2036
2037	40,000	1.700%	3,625	43,625	130,000	1.700%	11,238	141,238			0	0			0	0			0	0	170,000	1.700%	14,863	184,863	2037
2038	40,000	1.800%	2,925	42,925	130,000	1.800%	8,963	138,963			0	0			0	0			0	0	170,000	1.800%	11,888	181,888	2038
2039	45,000	1.850%	2,149	47,149	135,000	1.850%	6,544	141,544			0	0			0	0			0	0	180,000	1.850%	8,693	188,693	2039
2040	45,000	1.900%	1,305	46,305	135,000	1.900%	4,013	139,013			0	0			0	0			0	0	180,000	1.900%	5,318	185,318	2040
2041	45,000	1.950%	439	45,439	140,000	1.950%	1,365	141,365			0	0			0	0			0	0	185,000	1.950%	1,804	186,804	2041
<b>TOTALS</b>	<b>775,000</b>		<b>124,398</b>	<b>899,398</b>	<b>2,400,000</b>		<b>384,762</b>	<b>2,784,762</b>	<b>1,845,000</b>		<b>85,339</b>	<b>1,930,339</b>	<b>1,085,000</b>		<b>90,116</b>	<b>1,175,116</b>	<b>2,490,000</b>		<b>50,824</b>	<b>2,540,824</b>	<b>8,595,000</b>		<b>735,439</b>	<b>9,330,439</b>	<b>TOTALS</b>

**NOTES**

<sup>1</sup>Estimated rates are from a WI GO BQ (Aa2) scale from 2/9/2021 + 0.25%.

**Pre-Sale Estimate**



**Projected Debt Service Impact of Series 2021A G.O. Corporate Purpose Bonds**

**Pre-Sale Estimate**

Existing Debt Only (Less Obligations to be Refunded)							
YEAR	TID OUT EV Projection <sup>1</sup>	Annual P&I Payment <sup>2</sup>	Fiscal Charges	Fund Balance Applied	Less Non-Levy Revs <sup>3</sup>	Net Levy for Debt Service	Net Rate for Debt Service
2021	1,489,035,700	3,217,589	500	(29,206)	(2,116,456)	1,072,427	0.72
2022	1,532,951,749	2,188,175			(1,815,605)	372,570	0.24
2023	1,578,163,012	1,641,239			(1,473,230)	168,008	0.11
2024	1,624,707,688	1,664,253			(1,508,783)	155,469	0.10
2025	1,672,625,104	1,664,019			(1,508,255)	155,764	0.09
2026	1,721,955,745	1,699,946			(1,546,174)	153,772	0.09
2027	1,772,741,293	1,703,984			(1,556,847)	147,136	0.08
2028	1,825,024,656	1,435,825			(1,435,655)	170	0.00
2029	1,878,850,009	1,429,700			(1,429,530)	170	0.00
2030	1,934,262,830	1,082,180			(1,082,180)	0	0.00
2031	1,991,309,939	1,083,096			(1,083,096)	0	0.00
2032	2,050,039,535	1,087,124			(1,087,124)	0	0.00
2033	2,110,501,240	897,158			(897,158)	0	0.00
2034	2,172,746,139	284,200			(284,200)	0	0.00
2035	2,236,826,823	281,069			(281,069)	0	0.00
2036	2,302,797,435	282,538			(282,538)	0	0.00
2037	2,370,713,715	283,669			(283,669)	0	0.00
2038	2,440,633,046	156,900			(156,900)	0	0.00
2039	2,512,614,504	157,325			(157,325)	0	0.00
2040	2,586,718,908					0	0.00
2041	2,663,008,868					0	0.00
2042	2,741,548,845					0	0.00
<b>TOTALS</b>		<b>22,239,986</b>	<b>500</b>	<b>(29,206)</b>	<b>(19,985,793)</b>	<b>2,225,487</b>	

Estimated New Issue Debt Service											
G.O. Corporate Purpose Bonds, Series 2021A \$8,595,000 Dated 5-5-2021				Less: Water Revenues	Less: Sewer Revenues	Less: TID #1 Revenues	Less: Special Assmts <sup>5</sup>	Net Levy for Debt Service	Net Rate for Total Debt Svc		
Prin (3/1)	Est. Rate <sup>4</sup>	Interest	Total								YEAR
0			0	0	0			1,072,427	0.72		2021
830,000	0.450%	99,901	929,901	(47,429)	(138,490)	(83,164)	(33,819)	999,569	0.65		2022
875,000	0.500%	71,045	946,045	(44,215)	(138,555)	(84,573)	(33,819)	812,892	0.52		2023
775,000	0.550%	66,726	841,726	(44,031)	(137,978)	(84,179)	(33,819)	697,190	0.43		2024
795,000	0.600%	62,210	857,210	(43,830)	(137,345)	(83,748)	(33,819)	714,233	0.43		2025
800,000	0.650%	57,225	857,225	(43,611)	(136,658)	(83,279)	(33,819)	713,630	0.41		2026
815,000	0.750%	51,569	866,569	(43,366)	(140,869)	(82,754)	(33,819)	712,898	0.40		2027
410,000	0.850%	46,770	456,770	(43,086)	(139,949)	(82,154)	(33,819)	157,933	0.09		2028
420,000	0.950%	43,033	463,033	(42,771)	(138,914)	(86,455)	(33,819)	161,244	0.09		2029
425,000	1.000%	38,913	463,913	(47,405)	(137,793)	(85,675)	(33,819)	159,221	0.08		2030
430,000	1.100%	34,423	464,423	(46,985)	(141,558)	(84,835)	(33,819)	157,226	0.08		2031
240,000	1.200%	30,618	270,618	(46,525)	(140,178)	(83,915)		0	0.00		2032
240,000	1.300%	27,618	267,618	(46,025)	(138,678)	(82,915)		0	0.00		2033
240,000	1.400%	24,378	264,378	(45,485)	(137,058)	(81,835)		0	0.00		2034
250,000	1.500%	20,823	270,823	(44,905)	(140,280)	(85,638)		0	0.00		2035
165,000	1.600%	17,628	182,628	(44,285)	(138,343)			0	0.00		2036
170,000	1.700%	14,863	184,863	(43,625)	(141,238)			0	0.00		2037
170,000	1.800%	11,888	181,888	(42,925)	(138,963)			0	0.00		2038
180,000	1.850%	8,693	188,693	(47,149)	(141,544)			0	0.00		2039
180,000	1.900%	5,318	185,318	(46,305)	(139,013)			0	0.00		2040
185,000	1.950%	1,804	186,804	(45,439)	(141,365)			0	0.00		2041
								0	0.00		2042
<b>8,595,000</b>		<b>735,439</b>	<b>9,330,439</b>	<b>(899,398)</b>	<b>(2,784,762)</b>	<b>(1,175,116)</b>	<b>(338,186)</b>	<b>6,358,464</b>			<b>TOTALS</b>

**NOTES**

<sup>1</sup>Value shown for 2021 is actual 1-1-2020 value that 2021 budget levy is based on, and assumes a 2.95% increase each year thereafter (actual five-year TID OUT average growth reduced by 50%).

<sup>2</sup>Total principal and interest due on outstanding General Obligation Notes and Bonds issued by the Village through December 31, 2020, less debt service for the 2017 STFL and 2013A Bonds to be refunded.

<sup>3</sup>Non-levy revenues sources include utility and tax increment district allocated G.O. debt, police and fire impact fees, special assessments, transfers from the water, sewer and stormwater utilities and allocations to yard waste site budget.

TID 2 payment of the 2017 STFL to be refunded is excluded.

<sup>4</sup>Estimated rates are from a WI GO BQ (Aa2) scale from 2/9/2021 + 0.25%.

<sup>5</sup>Assumes special assessments in a principal amount of \$300,000 will be levied for street improvements with a ten year payment plan and interest accruing at 2.273% (estimated 1.273% all-inclusive cost (AIC) for streets portion of Series 2021A Bonds plus 1%).

Maturities Subject to Optional Redemption



## Current Refunding Analysis - Estimated Savings Series 2013A

Existing Debt Service To Be Refunded (No Longer Paid)				
Issue	General Obligation Street Improvement and Refunding Bonds, Series 2013A			
Amount Dated	\$4,710,000 11/21/2017			
Year	Principal	Rate	Interest	Total
2021			23,458	23,458
2022	435,000	1.550%	43,544	478,544
2023	460,000	1.700%	36,263	496,263
2024	365,000	1.900%	28,885	393,885
2025	385,000	2.000%	21,568	406,568
2026	395,000	2.150%	13,471	408,471
2027	410,000	2.250%	4,613	414,613
<b>Total</b>	<b>2,450,000</b>		<b>171,800</b>	<b>2,621,800</b>

Proposed Debt Service After Refunding (to be Paid)				
Issue	General Obligation Corporate Purpose Bonds, Series 2021A - CR Series 2013A Levy			
Amount Dated	\$2,490,000 5/5/2021			
Year	Principal	Est. Rate	Interest	Total
2021				0
2022	450,000	0.450%	18,037	468,037
2023	475,000	0.500%	11,195	486,195
2024	375,000	0.550%	8,976	383,976
2025	390,000	0.600%	6,775	396,775
2026	395,000	0.650%	4,321	399,321
2027	405,000	0.750%	1,519	406,519
<b>Total</b>	<b>2,490,000</b>		<b>50,824</b>	<b>2,540,824</b>

Prior Issue DS Funds
(23,458)

Total Savings
0
10,506
10,068
9,909
9,793
9,150
8,094
<b>57,519</b>

**Notes:**

1. Estimated rates based on WI GO BQ "Aa2" Market Rates + 25 Bps

Plus Rounding (67)

FUTURE VALUE SAVINGS NET OF COSTS

57,452

PRESENT VALUE SAVINGS AT 2.233% OF REFUNDED PRINCIPAL

## Current Refunding Analysis - Estimated Savings 2017 STFL

Existing Debt Service To Be Refunded (No Longer Paid)				
Issue	State Trust Fund Loan of 2017			
Amount Dated	\$1,200,000 11/21/2017			
Year	Principal	Rate	Interest	Total
2021				0
2022	57,665	4.000%	42,180	99,845
2023	59,972	4.000%	39,874	99,845
2024	62,268	4.000%	37,577	99,845
2025	64,861	4.000%	34,984	99,845
2026	67,456	4.000%	32,390	99,845
2027	70,154	4.000%	29,691	99,845
2028	72,887	4.000%	26,959	99,845
2029	75,876	4.000%	23,970	99,845
2030	78,911	4.000%	20,935	99,845
2031	82,067	4.000%	17,778	99,845
2032	85,310	4.000%	14,535	99,845
2033	88,762	4.000%	11,083	99,845
2034	92,313	4.000%	7,533	99,845
2035	96,005	4.000%	3,840	99,845
Total	1,054,507		343,330	1,397,837

Proposed Debt Service After Refunding (to be Paid)				
Issue	General Obligation Corporate Purpose Bonds, Series 2021A - CR 2017 STFL TID 1			
Amount Dated	\$1,080,000 5/5/2021			
Year	Principal	Est. Rate	Interest	Total
2021				0
2022	70,000	0.450%	13,164	83,164
2023	75,000	0.500%	9,573	84,573
2024	75,000	0.550%	9,179	84,179
2025	75,000	0.600%	8,748	83,748
2026	75,000	0.650%	8,279	83,279
2027	75,000	0.750%	7,754	82,754
2028	75,000	0.850%	7,154	82,154
2029	80,000	0.950%	6,455	86,455
2030	80,000	1.000%	5,675	85,675
2031	80,000	1.100%	4,835	84,835
2032	80,000	1.200%	3,915	83,915
2033	80,000	1.300%	2,915	82,915
2034	80,000	1.400%	1,835	81,835
2035	85,000	1.500%	638	85,638
Total	1,085,000		90,116	1,175,116

Prior Issue DS Funds
0

Total Savings
0
16,682
15,273
15,667
16,098
16,567
17,092
17,692
13,390
14,170
15,010
15,930
16,930
18,010
14,208
222,720

Plus Rounding

(152)
-------

**Notes:**

1. Estimated rates based on WI GO BQ "Aa2" Market Rates + 25 Bps

FUTURE VALUE SAVINGS NET OF COSTS

222,568

PRESENT VALUE SAVINGS AT 19.153% OF REFUNDED PRINCIPAL





## Current and Projected Debt Limit Calculations

YEAR	PROJECTED EQ VALUE (TID IN) <sup>1</sup>	DEBT LIMIT	EXIST DEBT PRIN OUTS <sup>2</sup>	% OF LIMIT	PROPOSED 2021A BONDS	COMBINED EXIST & NEW PRIN	% OF LIMIT	RESIDUAL CAPACITY	DIRECT DEBT BURDEN <sup>3</sup>	ASSESSMENT	YEAR
2020	1,525,305,700	76,265,285	22,149,954	29.04%		22,149,954	29.04%	54,115,331	1.45%	Strong	2020
2021	1,571,845,458	78,592,273	16,010,000	20.37%	8,595,000	24,605,000	31.31%	53,987,273	1.57%	Strong	2021
2022	1,619,805,226	80,990,261	14,260,000	17.61%	7,765,000	22,025,000	27.19%	58,965,261	1.36%	Strong	2022
2023	1,669,228,330	83,461,417	13,020,000	15.60%	6,890,000	19,910,000	23.86%	63,551,417	1.19%	Strong	2023
2024	1,720,159,420	86,007,971	11,725,000	13.63%	6,115,000	17,840,000	20.74%	68,167,971	1.04%	Strong	2024
2025	1,772,644,508	88,632,225	10,395,000	11.73%	5,320,000	15,715,000	17.73%	72,917,225	0.89%	Strong	2025
2026	1,826,731,007	91,336,550	8,990,000	9.84%	4,520,000	13,510,000	14.79%	77,826,550	0.74%	Very Strong	2026
2027	1,882,467,781	94,123,389	7,540,000	8.01%	3,705,000	11,245,000	11.95%	82,878,389	0.60%	Very Strong	2027
2028	1,939,905,182	96,995,259	6,320,000	6.52%	3,295,000	9,615,000	9.91%	87,380,259	0.50%	Very Strong	2028
2029	1,999,095,099	99,954,755	5,070,000	5.07%	2,875,000	7,945,000	7.95%	92,009,755	0.40%	Very Strong	2029
2030	2,060,091,004	103,004,550	4,135,000	4.01%	2,450,000	6,585,000	6.39%	96,419,550	0.32%	Very Strong	2030
2031	2,122,948,001	106,147,400	3,170,000	2.99%	2,020,000	5,190,000	4.89%	100,957,400	0.24%	Very Strong	2031
2032	2,187,722,876	109,386,144	2,170,000	1.98%	1,780,000	3,950,000	3.61%	105,436,144	0.18%	Very Strong	2032
2033	2,254,474,146	112,723,707	1,330,000	1.18%	1,540,000	2,870,000	2.55%	109,853,707	0.13%	Very Strong	2033
2034	2,323,262,115	116,163,106	1,085,000	0.93%	1,300,000	2,385,000	2.05%	113,778,106	0.10%	Very Strong	2034
2035	2,394,148,926	119,707,446	835,000	0.70%	1,050,000	1,885,000	1.57%	117,822,446	0.08%	Very Strong	2035
2036	2,467,198,617	123,359,931	575,000	0.47%	885,000	1,460,000	1.18%	121,899,931	0.06%	Very Strong	2036
2037	2,542,477,184	127,123,859	305,000	0.24%	715,000	1,020,000	0.80%	126,103,859	0.04%	Very Strong	2037
2038	2,620,052,631	131,002,632	155,000	0.12%	545,000	700,000	0.53%	130,302,632	0.03%	Very Strong	2038
2039	2,699,995,042	134,999,752	0		365,000	365,000	0.27%	134,634,752	0.01%	Very Strong	2039
2040	2,782,376,637	139,118,832	0		185,000	185,000	0.13%	138,933,832	0.01%	Very Strong	2040
2041	2,867,271,838	143,363,592			0	0		143,363,592	0.00%	Very Strong	2041
2042	2,954,757,342	147,737,867			0	0		147,737,867	0.00%	Very Strong	2042
2043	3,044,912,182	152,245,609			0	0		152,245,609	0.00%	Very Strong	2043

**NOTES:**

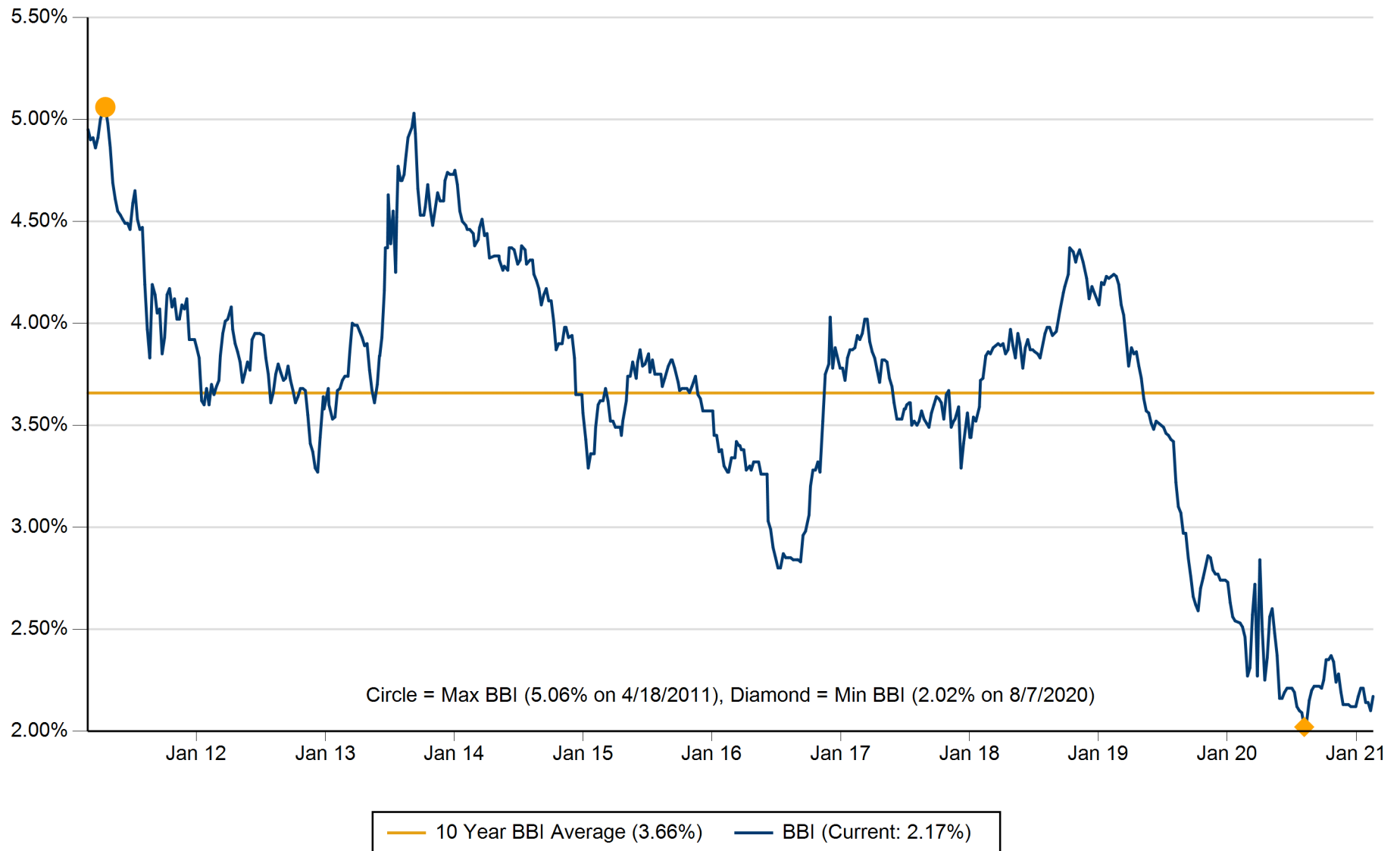
<sup>1</sup>Value shown for 2020 is actual. Projections assumes a 3.05% increase each year thereafter (actual five-year TID IN average growth reduced by 50%).

<sup>2</sup>Total principal due on outstanding General Obligation Notes and Bonds issued by the Village through December 31, 2020, less debt principal for the 2017 STFL and 2013A Bonds to be refunded.

<sup>3</sup>Direct debt burden metric excludes G.O. debt principal allocated to essential purpose utilities (water, sewer, sanitary sewer) provided utility net revenues are sum sufficient to make all debt payments.

# 10 YEAR TREND IN MUNICIPAL BOND INDICES

## Weekly Rates February, 2011 - February, 2021



The Bond Buyer "20 Bond Index" (BBI) shows average yields on a group of municipal bonds that mature in 20 years and have an average rating equivalent to Moody's Aa2 and S&P's AA.

RESOLUTION NO. V-10-2021

INITIAL RESOLUTION AUTHORIZING THE BORROWING  
OF NOT TO EXCEED \$775,000; AND  
PROVIDING FOR THE ISSUANCE AND SALE OF  
GENERAL OBLIGATION BONDS THEREFOR

WHEREAS, it is necessary that funds be raised by the Village of Bellevue, Brown County, Wisconsin (the "Village") for the purpose of paying the costs of water system improvements and related bond issuance costs (the "Project"), and there are insufficient funds on hand to pay said costs;

WHEREAS, the Village hereby finds and determines that the Project is within the Village's power to undertake and serves a "public purpose" as that term is defined in Section 67.04(1)(b) of the Wisconsin Statutes; and,

WHEREAS, villages are authorized by the provisions of Section 67.04(2) of the Wisconsin Statutes to borrow money and to issue general obligation bonds for such public purposes.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village that:

Section 1. Authorization of the Bonds. For the purpose of paying the cost of the Project, there shall be borrowed pursuant to Chapter 67 of the Wisconsin Statutes, the principal sum of not to exceed SEVEN HUNDRED SEVENTY-FIVE THOUSAND DOLLARS (\$775,000) from a purchaser to be determined by subsequent resolution of this Village Board (the "Purchaser").

Section 2. Sale of the Bonds. To evidence such indebtedness, the Village President and Village Clerk-Treasurer are hereby authorized, empowered and directed to make, execute, issue and sell to the Purchaser for, on behalf of and in the name of the Village, general obligation bonds aggregating the principal amount of not to exceed SEVEN HUNDRED SEVENTY-FIVE THOUSAND DOLLARS (\$775,000) (the "Bonds").

Section 3. Award of the Bonds. The Village Clerk-Treasurer (in consultation with the Village's financial advisor, Ehlers & Associates, Inc.) shall prepare or cause to be prepared an Official Notice of Sale and an Official Statement and take other actions necessary for the sale and award of the Bonds on April 14, 2021.

Section 4. Prior Resolutions; Severability; Effective Date. All prior resolutions, rules or other actions of the Village or any parts thereof in conflict with the provisions hereof shall be, and the same are, hereby rescinded insofar as the same may so conflict. In the event that any one or more provisions hereof shall for any reason be held to be illegal or invalid, such illegality or invalidity shall not affect any other provisions hereof. The foregoing shall take effect immediately upon adoption and approval in the manner provided by law.

Adopted and recorded this 10<sup>th</sup> day of March, 2021.

---

Steve Soukup  
Village President

(SEAL)

ATTEST:

---

Karen Simons  
Village Clerk-Treasurer

RESOLUTION NO. V-11-2021

INITIAL RESOLUTION AUTHORIZING THE BORROWING  
OF NOT TO EXCEED \$2,400,000; AND  
PROVIDING FOR THE ISSUANCE AND SALE OF  
GENERAL OBLIGATION BONDS THEREFOR

WHEREAS, it is necessary that funds be raised by the Village of Bellevue, Brown County, Wisconsin (the "Village") for the purpose of paying the costs of sewer system improvements and related bond issuance costs (the "Project"), and there are insufficient funds on hand to pay said costs;

WHEREAS, the Village hereby finds and determines that the Project is within the Village's power to undertake and serves a "public purpose" as that term is defined in Section 67.04(1)(b) of the Wisconsin Statutes; and,

WHEREAS, villages are authorized by the provisions of Section 67.04(2) of the Wisconsin Statutes to borrow money and to issue general obligation bonds for such public purposes.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village that:

Section 1. Authorization of the Bonds. For the purpose of paying the cost of the Project, there shall be borrowed pursuant to Chapter 67 of the Wisconsin Statutes, the principal sum of not to exceed TWO MILLION FOUR HUNDRED THOUSAND DOLLARS (\$2,400,000) from a purchaser to be determined by subsequent resolution of this Village Board (the "Purchaser").

Section 2. Sale of the Bonds. To evidence such indebtedness, the Village President and Village Clerk-Treasurer are hereby authorized, empowered and directed to make, execute, issue and sell to the Purchaser for, on behalf of and in the name of the Village, general obligation bonds aggregating the principal amount of not to exceed TWO MILLION FOUR HUNDRED THOUSAND DOLLARS (\$2,400,000) (the "Bonds").

Section 3. Award of the Bonds. The Village Clerk-Treasurer (in consultation with the Village's financial advisor, Ehlers & Associates, Inc.) shall prepare or cause to be prepared an Official Notice of Sale and an Official Statement and take other actions necessary for the sale and award of the Bonds on April 14, 2021.

Section 4. Prior Resolutions; Severability; Effective Date. All prior resolutions, rules or other actions of the Village or any parts thereof in conflict with the provisions hereof shall be, and the same are, hereby rescinded insofar as the same may so conflict. In the event that any one or more provisions hereof shall for any reason be held to be illegal or invalid, such illegality or invalidity shall not affect any other provisions hereof. The foregoing shall take effect immediately upon adoption and approval in the manner provided by law.

Adopted and recorded this 10<sup>th</sup> day of March, 2021.

---

Steve Soukup  
Village President

(SEAL)

ATTEST:

---

Karen Simons  
Village Clerk-Treasurer

RESOLUTION NO. V-12-2021

INITIAL RESOLUTION AUTHORIZING THE BORROWING  
OF NOT TO EXCEED \$1,845,000; AND  
PROVIDING FOR THE ISSUANCE AND SALE OF  
GENERAL OBLIGATION BONDS THEREFOR

WHEREAS, it is necessary that funds be raised by the Village of Bellevue, Brown County, Wisconsin (the "Village") for the purpose of paying the costs of street improvements and related bond issuance costs (the "Project"), and there are insufficient funds on hand to pay said costs;

WHEREAS, the Village hereby finds and determines that the Project is within the Village's power to undertake and serves a "public purpose" as that term is defined in Section 67.04(1)(b) of the Wisconsin Statutes; and,

WHEREAS, villages are authorized by the provisions of Section 67.04(2) of the Wisconsin Statutes to borrow money and to issue general obligation bonds for such public purposes.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village that:

Section 1. Authorization of the Bonds. For the purpose of paying the cost of the Project, there shall be borrowed pursuant to Chapter 67 of the Wisconsin Statutes, the principal sum of not to exceed ONE MILLION EIGHT HUNDRED FORTY-FIVE THOUSAND DOLLARS (\$1,845,000) from a purchaser to be determined by subsequent resolution of this Village Board (the "Purchaser").

Section 2. Sale of the Bonds. To evidence such indebtedness, the Village President and Village Clerk-Treasurer are hereby authorized, empowered and directed to make, execute, issue and sell to the Purchaser for, on behalf of and in the name of the Village, general obligation bonds aggregating the principal amount of not to exceed ONE MILLION EIGHT HUNDRED FORTY-FIVE THOUSAND DOLLARS (\$1,845,000) (the "Bonds").

Section 3. Award of the Bonds. The Village Clerk-Treasurer (in consultation with the Village's financial advisor, Ehlers & Associates, Inc.) shall prepare or cause to be prepared an Official Notice of Sale and an Official Statement and take other actions necessary for the sale and award of the Bonds on April 14, 2021.

Section 4. Prior Resolutions; Severability; Effective Date. All prior resolutions, rules or other actions of the Village or any parts thereof in conflict with the provisions hereof shall be, and the same are, hereby rescinded insofar as the same may so conflict. In the event that any one or more provisions hereof shall for any reason be held to be illegal or invalid, such illegality or invalidity shall not affect any other provisions hereof. The foregoing shall take effect immediately upon adoption and approval in the manner provided by law.

Adopted and recorded this 10<sup>th</sup> day of March, 2021.

---

Steve Soukup  
Village President

(SEAL)

ATTEST:

---

Karen Simons  
Village Clerk-Treasurer



RESOLUTION NO. V-13-2021

INITIAL RESOLUTION AUTHORIZING THE BORROWING  
OF NOT TO EXCEED \$3,575,000; AND  
PROVIDING FOR THE ISSUANCE AND SALE OF  
GENERAL OBLIGATION BONDS THEREFOR

WHEREAS, it is necessary that funds be raised by the Village of Bellevue, Brown County, Wisconsin (the "Village") for the purpose of paying the costs of refunding the Village's \$4,710,000 General Obligation Street Improvements and Refunding Bonds, Series 2013A dated April 11, 2013 and \$1,200,000 State Trust Fund Loan dated November 21, 2017 and related bond issuance costs (the "Refunding"), and there are insufficient funds on hand to pay said costs; and

WHEREAS, villages are authorized by the provisions of Section 67.04(3) of the Wisconsin Statutes to borrow money and to issue general obligation bonds to refund outstanding obligations.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village that:

Section 1. Authorization of the Bonds. For the purpose of paying the cost of the Refunding, there shall be borrowed pursuant to Chapter 67 of the Wisconsin Statutes, the principal sum of not to exceed THREE MILLION FIVE HUNDRED SEVENTY-FIVE THOUSAND DOLLARS (\$3,575,000) from a purchaser to be determined by subsequent resolution of this Village Board (the "Purchaser").

Section 2. Sale of the Bonds. To evidence such indebtedness, the Village President and Village Clerk-Treasurer are hereby authorized, empowered and directed to make, execute, issue and sell to the Purchaser for, on behalf of and in the name of the Village, general obligation bonds aggregating the principal amount of not to exceed THREE MILLION FIVE HUNDRED SEVENTY-FIVE THOUSAND DOLLARS (\$3,575,000) (the "Bonds").

Section 3. Award of the Bonds. The Village Clerk-Treasurer (in consultation with the Village's financial advisor, Ehlers & Associates, Inc.) shall prepare or cause to be prepared an Official Notice of Sale and an Official Statement and take other actions necessary for the sale and award of the Bonds on April 14, 2021.

Section 4. Prior Resolutions; Severability; Effective Date. All prior resolutions, rules or other actions of the Village or any parts thereof in conflict with the provisions hereof shall be, and the same are, hereby rescinded insofar as the same may so conflict. In the event that any one or more provisions hereof shall for any reason be held to be illegal or invalid, such illegality or invalidity shall not affect any other provisions hereof. The foregoing shall take effect immediately upon adoption and approval in the manner provided by law.

Adopted and recorded this 10<sup>th</sup> day of March, 2021.

---

Steve Soukup  
Village President

(SEAL)

ATTEST:

---

Karen Simons  
Village Clerk-Treasurer



# MEMORANDUM

Date: March 4, 2021

---

To: Diane Wessel, Village Administrator  
Cc: Village Board  
Fm: Andrew J. Vissers, Community Development Director  
Re: STAFF REPORT ON AWARDING OF BIDS FOR THE LEASE OF VILLAGE OWNED PROPERTY FOR AGRICULTURAL PURPOSES AND EXECUTION OF LEASES

---

## BACKGROUND INFORMATION

In 2015, the Village Board adopted the bidding process for the offering of Village of Bellevue Owned Lands Suitable for Agricultural Purposes. Village staff identified Village owned property that may be valuable to some for agricultural purposes, made them available to bidders and executed leases with the highest bidders following the Village Board awarding.

The initial terms of all the executed leases were for three years with a two-year extension option. After the initial and extension terms, the Village would reopen the bidding process for all interested parties again.

Bids were due in the Village offices by February 26, 2021 for six lease areas. The seventh lease area (Shaha Memorial Park) received a lease extension approval by the Village Board for James Kroll on January 27, 2021.

The lease areas are:

- Lease Area 1 – VFW Memorial Park
- Lease Area 2 – East River/Crystal Lake Area
- Lease Area 3 – Bethel Park Area
- Lease Area 4 – Leona Street Area
- Lease Area 5 – Hoffman Road Area
- Lease Area 6 – Skyview/Pintail Area

Minimum starting bids took into account the previous bids received for the last term and adjusted up for inflation.

The bids received were:

Lease Area 1 – Minimum Starting Bid \$2,750.00

- Vander Kinter Farms LLC (Previous Lease Holder) \$2,750.00/year

Lease Areas 2, 4, 5 & 6 – (Minimum Starting Bids \$100.00, \$50.00, \$75.00 and \$50.00 = \$275.00)

- Mike Vanden Heuvel (Previous Lease Holder) \$275.00/year

Lease Area 3 – Minimum Starting Bid \$150.00

- Jason Pansier (Previous Lease Holder) \$112.50/year

All of the areas only received one bid and they were all from previous lease holders. All bids were the minimum starting bid for each lease area except for the Pansier bid for Lease Area 3. The \$112.50/year was the amount that was charged for the previous lease whereas the minimum starting bid for the area was \$150.00/year a deficiency of \$32.50/year.

LEGAL REVIEW

The template of the leases was originally drafted and reviewed by the Village Attorney in 2015. Staff intends to utilize the same template and adjust the names, dates and values accordingly.

FISCAL IMPACT

1. Is There a Fiscal Impact?	YES
2. Is it Currently Budgeted?	YES
3. If Budgeted, Which Line?	Miscellaneous Revenue – Rental Properties
4. Amount:	2021 Budgeted Amount - \$12,163.00

FISCAL IMPACT REVIEW

Of the \$12,163 budgeted for land rentals, \$9,200 is generated by the Shaha Memorial Park lease area. The remaining \$2,963 comes from the six lease areas identified in this report with the majority (\$2,700) coming from the current VFW Memorial Park lease.

As stated previously, all lease areas were adjusted with minimum starting bids to adjust for inflation.

Staff feels that an increase of \$32.50 total from the last 5-year term to this is an acceptable amount (increase of \$6.50/year).

Moving forward, the leases shall be worded that the yearly increase will be 3%

COMMUNICATION PLAN

Staff communicated the AG BID Program through our website, other bidding websites, and direct mailings to interested parties.

REQUESTED MOTIONS

*Motion to Approve and Award all bids as submitted except Lease Area #3 which shall be only awarded to bidder Jason Pansier if the minimum starting bid of \$150 is agreed to and direct staff to execute leases with all the parties with an annual 3% increase in yearly rent.*

ATTACHMENTS

- AG Lease Area Exhibits
- Submitted Bids
- "Template Lease"

# Lease Area 1 - VFW Memorial Park

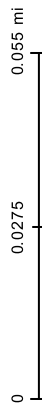
Village of Bellevue, Wisconsin



Map provided by the Village of Bellevue's Internal Interactive Web Mapping System

Please visit: [www.villageofbellevue.org/gis](http://www.villageofbellevue.org/gis) to access Bellevue's Interactive Web Mapping System.  
This map is intended for advisory purposes only. The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent. The Village of Bellevue assumes no liability for its use or accuracy.

Date: 1/18/2021 Reference Scale: 1:0



### Legend

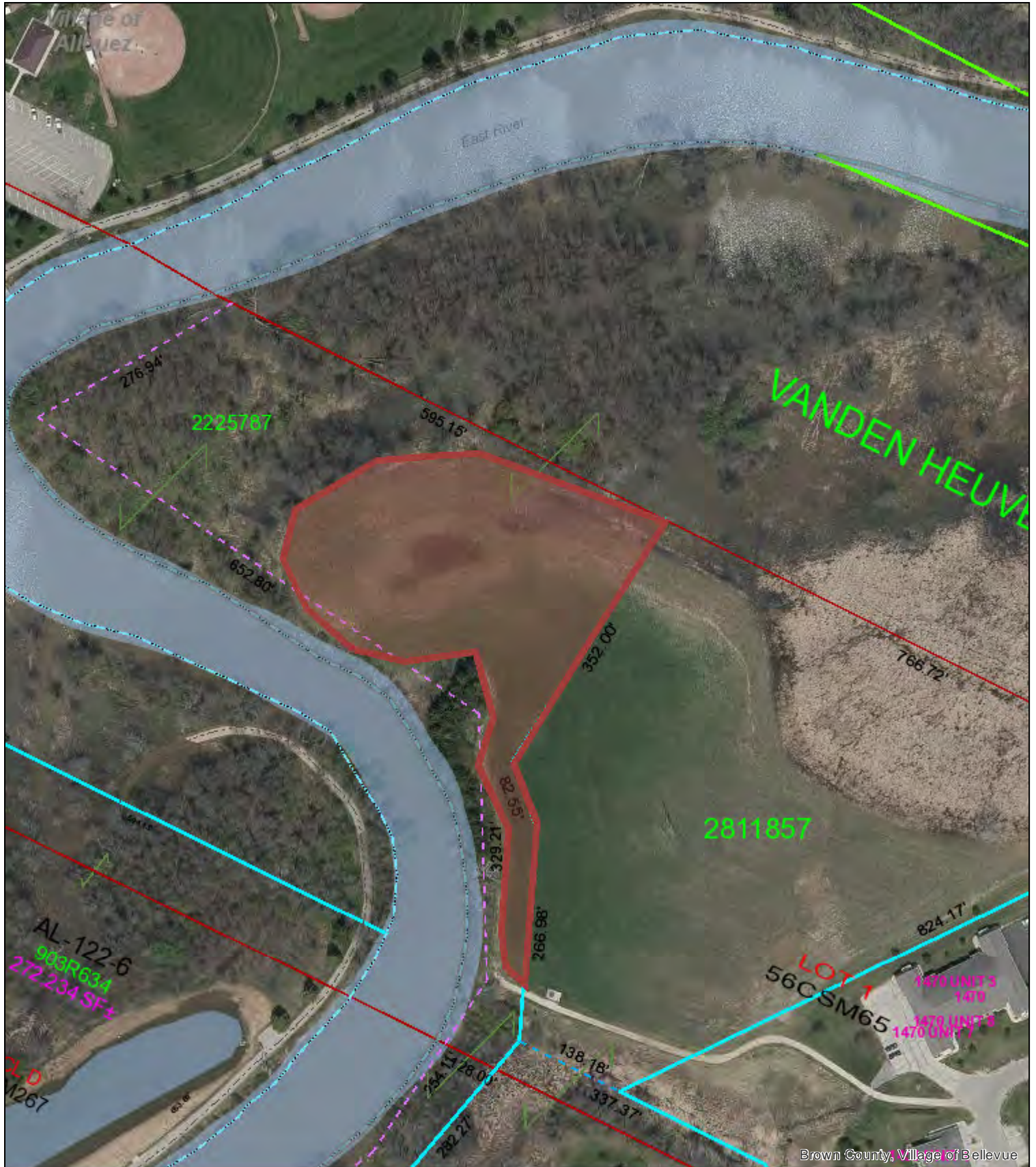






# Lease Area 2 - East River/Crystal Lake Area

Village of Bellevue, Wisconsin



Brown County, Village of Bellevue



Map provided by the Village of Bellevue's Internal Interactive Web Mapping System  
Please visit: [www.villageofbellevue.org/GIS](http://www.villageofbellevue.org/GIS) to access Bellevue's Interactive Web Mapping System.

This map is intended for advisory purposes only. The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent. The Village of Bellevue assumes no liability for its use or accuracy.

Date: 1/18/2021

Reference Scale: 1:0

0 0.0175 0.035 mi

### Legend

 Site Location





# Lease Area 3 - Bethel Park Area

Village of Bellevue, Wisconsin



Brown County, Village of Bellevue

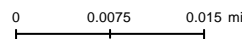


Map provided by the Village of Bellevue's Internal Interactive Web Mapping System  
Please visit: [www.villageofbellevue.org/GIS](http://www.villageofbellevue.org/GIS) to access Bellevue's Interactive Web Mapping System.

This map is intended for advisory purposes only. The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent. The Village of Bellevue assumes no liability for its use or accuracy.

Date: 1/18/2021

Reference Scale: 1:0



### Legend

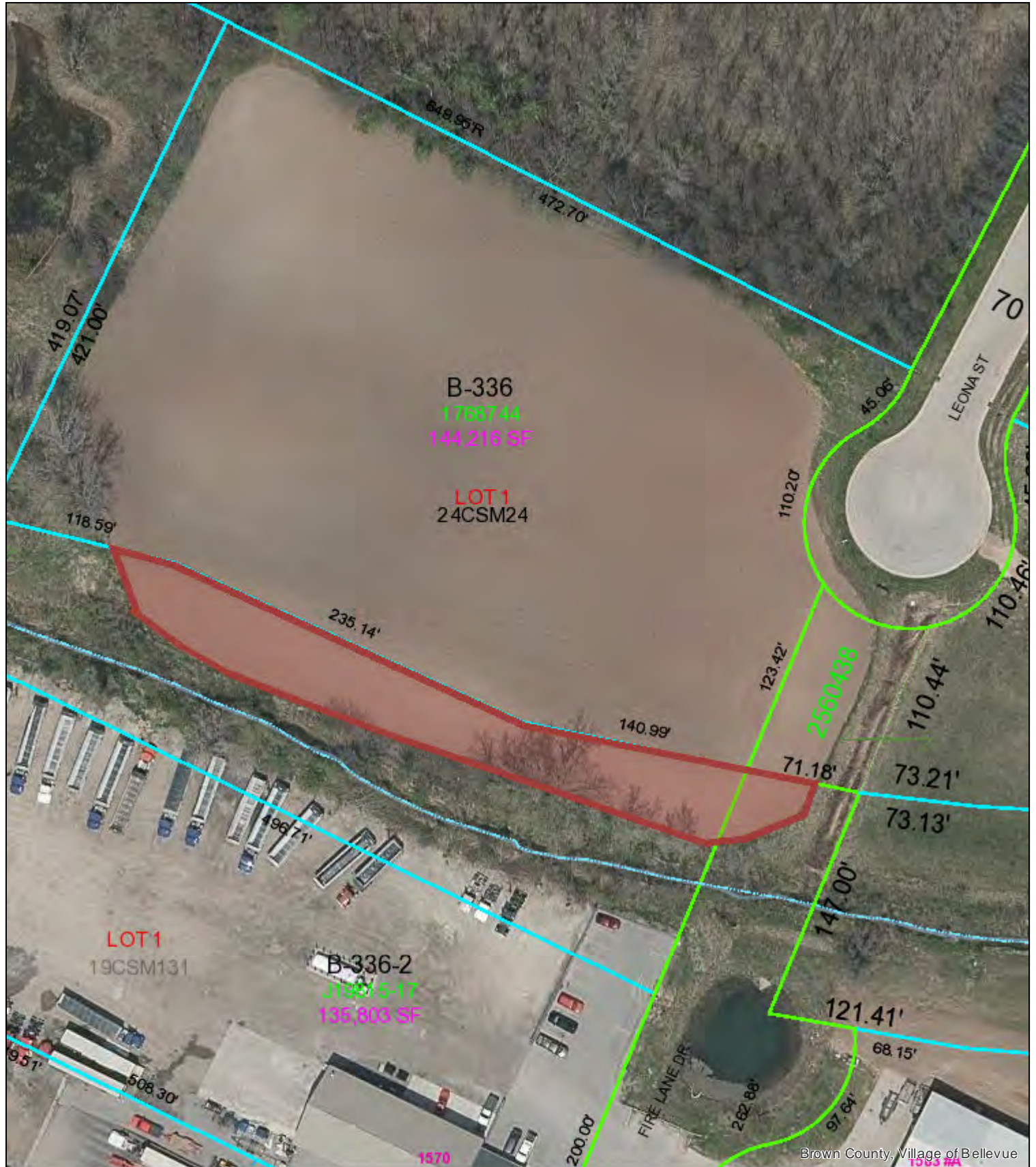
 Site Location





# Lease Area 4 - Leona Street Area

Village of Bellevue, Wisconsin



Brown County, Village of Bellevue

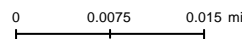


Map provided by the Village of Bellevue's Internal Interactive Web Mapping System  
Please visit: [www.villageofbellevue.org/GIS](http://www.villageofbellevue.org/GIS) to access Bellevue's Interactive Web Mapping System.

This map is intended for advisory purposes only. The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent. The Village of Bellevue assumes no liability for its use or accuracy.

Date: 1/18/2021

Reference Scale: 1:0



### Legend

 Site Location





# Lease Area 5 - Hoffman Road Area

Village of Bellevue, Wisconsin



Brown County, Village of Bellevue

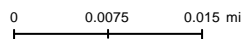


Map provided by the Village of Bellevue's Internal Interactive Web Mapping System  
Please visit: [www.villageofbellevue.org/GIS](http://www.villageofbellevue.org/GIS) to access Bellevue's Interactive Web Mapping System.

This map is intended for advisory purposes only. The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent. The Village of Bellevue assumes no liability for its use or accuracy.

Date: 1/18/2021

Reference Scale: 1:0



### Legend

 Site Location





# Lease Area 6 - Skyview/Pintail Area

Village of Bellevue, Wisconsin



Brown County, Village of Bellevue

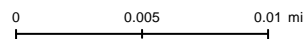


Map provided by the Village of Bellevue's Internal Interactive Web Mapping System  
Please visit: [www.villageofbellevue.org/GIS](http://www.villageofbellevue.org/GIS) to access Bellevue's Interactive Web Mapping System.

This map is intended for advisory purposes only. The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent. The Village of Bellevue assumes no liability for its use or accuracy.

Date: 1/18/2021

Reference Scale: 1:0



### Legend

 Site Location



RECEIVED

FEB 19 2021

VILLAGE OF BELLEVUE

## 2021 Village of Bellevue Farm Lease Bid Form

### AG LAND BID

Please note that with proximity to Village owned ponds or natural areas, there is potential for significant crop damage by wildlife.

Bid = \$ 2750 for first 12 months of Lease

### PICK ONLY ONE OPTION:

- As part of our bid, we want to include all available areas
- As part of our bid, we **only** want to include the following areas:
- Lease Area 1 (Minimum Starting Bid \$2,750)
  - Lease Area 2 (Minimum Starting Bid \$100)
  - Lease Area 3 (Minimum Starting Bid \$150)
  - Lease Area 4 (Minimum Starting Bid \$50)
  - Lease Area 5 (Minimum Starting Bid \$75)
  - Lease Area 6 (Minimum Starting Bid \$50)

Name: Lucas Vander Kinter

Legal Name used for Agreement: Vander Kinter Farms LLC

Address: 3554 Shadow Lane Green Bay WI 54311

Phone: \_\_\_\_\_ Cell: 920-371-3024

Signature: Lucas Vander Kinter

By signing this bid, you are acknowledging that a lease must be executed in order for the access to use the property.

**BIDS ARE DUE BY FEBRUARY 26, 2021 at 4:30 P.M.**

Send Completed Bid Form to:  
Andrew J. Vissers, Community Development Director  
Village of Bellevue  
2828 Allouez Avenue  
Bellevue, WI 54311





## 2021 Village of Bellevue Farm Lease Bid Form

### AG LAND BID

Please note that with proximity to Village owned ponds or natural areas, there is potential for significant crop damage by wildlife.

Bid = \$ 275.00 for first 12 months of Lease

### PICK ONLY ONE OPTION:

- As part of our bid, we want to include all available areas
- As part of our bid, we **only** want to include the following areas:

- Lease Area 1 (Minimum Starting Bid \$2,750)
- Lease Area 2 (Minimum Starting Bid \$100)
- Lease Area 3 (Minimum Starting Bid \$150)
- Lease Area 4 (Minimum Starting Bid \$50)
- Lease Area 5 (Minimum Starting Bid \$75)
- Lease Area 6 (Minimum Starting Bid \$50)

Name: Mike Vanden Heuvel

Legal Name used for Agreement: Mike Vanden Heuvel

Address: 1661 Lime Kiln Rd. Green Bay, WI 54311

Phone: 920-468-8624 Cell: 920-671-7879

Signature: Mike Vanden Heuvel

By signing this bid, you are acknowledging that a lease must be executed in order for the access to use the property.

**BIDS ARE DUE BY FEBRUARY 26, 2021 at 4:30 P.M.**

Send Completed Bid Form to:  
Andrew J. Vissers, Community Development Director  
Village of Bellevue  
2828 Allouez Avenue  
Bellevue, WI 54311



## 2021 Village of Bellevue Farm Lease Bid Form

### AG LAND BID

Please note that with proximity to Village owned ponds or natural areas, there is potential for significant crop damage by wildlife.

Bid = \$ 112.50 for first 12 months of Lease

### PICK ONLY ONE OPTION:

- As part of our bid, we want to include all available areas
- As part of our bid, we **only** want to include the following areas:

- Lease Area 1 (Minimum Starting Bid \$2,750)
- Lease Area 2 (Minimum Starting Bid \$100)
- Lease Area 3 (Minimum Starting Bid \$150)
- Lease Area 4 (Minimum Starting Bid \$50)
- Lease Area 5 (Minimum Starting Bid \$75)
- Lease Area 6 (Minimum Starting Bid \$50)

Name: Jason PANSIER

Legal Name used for Agreement: SAME

Address: 3876 DICKINSON ROAD DEPERE WI 54115

Phone: 920 655-3875 Cell: \_\_\_\_\_

Signature: [Handwritten Signature]

By signing this bid, you are acknowledging that a lease must be executed in order for the access to use the property.

**BIDS ARE DUE BY FEBRUARY 26, 2021 at 4:30 P.M.**

Send Completed Bid Form to:  
Andrew J. Vissers, Community Development Director  
Village of Bellevue  
2828 Allouez Avenue  
Bellevue, WI 54311

## **LEASE AMENDMENT AGREEMENT**

This Lease Amendment Agreement is made and entered into this \_\_\_\_ day of \_\_\_\_\_, 202\_\_, by and between the VILLAGE OF BELLEVUE, having an address of 2828 Allouez Avenue, Green Bay, WI 54311, hereinafter "Lessor" and \_\_\_\_\_ having an address of \_\_\_\_\_, herein referred to as "Lessee".

### **I. DESCRIPTION**

Lessee hereby leases from Lessor that certain farmlands as identified and located on Exhibit A ("Subject Premises"),

For purposes of this Lease, Lessee is renting the acreage located on the Subject Premises that has previously been used for farming purposes. The area leased is documented in the attached map as Exhibit A.

### **II. TERM**

This Lease shall commence on March 11, 2021 and shall terminate on December 31, 2023 unless a two-year extension is requested by Lessee in writing and granted by the Lessor. Lessee shall leave the Subject Premises clear of any crops at lease termination on December 31, 2023. The Lessor may terminate this Lease at anytime with 60 days written notice to the Lessee. Should the Lessor terminate this Lease prior to December 31, 2023 pursuant to this provision, Lessor will pay to Lessee the loss for any crop damage up to a maximum \$500 payment by Lessor to Lessee for actual crop damage.

### **III. RENT**

In full payment of any and all rent due and owing by Lessee to Lessor, Lessee shall pay



the sum of \_\_\_\_\_ (\$\_\_\_\_\_.00) to Lessor upon execution of this lease which covers rent through December 31, 2021. Rent shall increase each year by 3%. Rent for subsequent years shall be due to Lessor by January 31 of each new lease year. In the event the payment for subsequent years rent is not paid by January 31 of that years lease, interest shall be charged at a rate of 1% beginning 30 days after the due date until paid in full. Lessor shall refund a pro-rated amount of rent paid should it terminate the lease pursuant to the sixty (60) day cancellation provision stated in Section II.

#### **IV. SECURITY DEPOSIT**

Lessor and Lessee agree that no security deposit shall be paid to Lessor by Lessee.

#### **V. ACCESS TO PROPERTY**

Lessor covenants that on paying the rent and performing the covenants herein contained, Lessee shall peacefully and quietly have, hold and enjoy the demised premises for the purpose of farming for the agreed term. Lessee shall not be allowed to spread liquid manure on the property. Lessor and its agents and assigns shall have access to the property with reasonable notice to Lessee. Lessee covenants to lease said premises in conformity with the laws of the State of Wisconsin. No items of tangible personal property of any kind and currently in the Subject Premises shall be removed from the Subject Premises without the express written consent of the Lessor. Lessee agrees to conform to Wisconsin Law regarding noxious weeds, and to all local regulations and ordinances affecting the use of the Subject Premises.

#### **VI. TAXES**

Lessor shall be responsible for any and all real estate taxes due on the Subject Premises.

#### **VII. INSURANCE**

Lessee shall pay all costs of insurance regarding his farming on the Subject Premises.

#### **VIII. INDEMNIFICATION**

Lessee shall, at all times prior to the termination of this lease and to the delivery to Lessor of possession of the demised premises and all improvements thereon, indemnify Lessor against all liability, loss, cost, damage or expense sustained by Lessor, including attorney's fees and other expenses of litigation, arising prior to termination of the lease term and delivery to Lessor of possession of the premises for any damage, injury or death arising from any act or omission in connection with Lessee's operation, management or maintenance of any equipment or facilities on the demised premises. Lessee shall assume all of such liability and indemnify Lessor against any liability arising therefrom.

#### **IX. UNASSIGNABILITY OF LEASE**

This Lease shall not be assignable by either party without the express written consent of the other party.

#### **X. BINDING EFFECT**

The parties agree that this Lease Agreement shall bind the undersigned parties, their heirs, assigns and transferees.

#### **XI. OBLIGATIONS AFTER TERMINATION**

The obligations of the Lessee and Lessor shall cease upon termination of this Lease. Nothing in this Lease shall be construed as giving the Lessee an option to renew this Lease for an additional period beyond December 31, 2023, unless a two-year extension is requested by Lessee in writing and granted by Lessor with execution of a new lease. Lessor may, but is not obligated to, grant Lessee up to fifteen (15) days additional time to remove crops. Lessee must obtain



written notice from Lessor that additional time has been granted to remove crops.

## **XII. MISCELLANEOUS**

This Agreement shall be interpreted under the laws of the State of Wisconsin. In the event that Lessor incurs any attorney fees or the related costs in enforcing the terms and conditions of this Lease, Lessee shall be responsible for any and all attorney fees and costs incurred by Lessor.

Wisconsin Law provides that any ambiguity in a document is construed against the drafter of the document. For purposes of this Agreement, such a provision shall not control; rather, the parties agree that any ambiguity in the Lease shall be resolved without reference to the identity of the party drafting said Lease. The parties agree that any action concerning this Lease shall be venued in Brown County, Wisconsin.

## **XIII. ARBITRATION**

In the event that a dispute arises concerning the construction or operation of this Agreement, any party to this Agreement may immediately petition to Branch I of Brown County Circuit Court for the appointment of an Arbitrator to resolve said dispute. The Judge then presiding in Branch I of Brown County Circuit Court shall appoint a member of the Brown County Bar Association to act as Arbitrator. Both sides shall be prepared, within thirty (30) days of the appointment of the arbitrator, to present their case to the Arbitrator for resolution. The Arbitrator shall only be entitled to serve if he shall agree, in writing, to render a decision within fifteen (15) days of the Arbitration hearing. Furthermore, said Arbitrator must schedule an Arbitration hearing within forty-five (45) days from his or her appointment as an Arbitrator.

The parties agree that within thirty (30) days from the date the Arbitrator's decision is

mailed to the parties, the non-prevailing party will pay to the prevailing party any amounts provided for by the Arbitrator in his or her decision. Any post-arbitration sums so ordered to be paid by a non-prevailing party to a prevailing party shall likewise be paid within thirty (30) days of the Arbitrator's decision. In the event said amount is not paid within thirty days of said decision, then the decision of the Arbitrator can be immediately entered as a judgment against the non-prevailing party in Brown County Circuit Court. In so signing this Agreement, the parties consent to the immediate entry of such a judgment and waive any rights they may have to contest the decision of the Arbitrator.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first above written.

**Lessor:**

\_\_\_\_\_  
VILLAGE OF BELLEVUE  
By: Diane Wessel, Village Administrator

**Lessee:**

\_\_\_\_\_  
Name

**This document drafted by:**

**Andrew J. Vissers, Community Development  
Director**





# MEMORANDUM

Date: March 4, 2021

---

**To:** Diane Wessel, Village Administrator  
**Cc:** Village Board  
**Fm:** Andrew J. Vissers, Community Development Director  
**Re:** **STAFF REPORT ON UTILIZATION OF THE VILLAGE OF BELLEVUE RESIDENTIAL INFRASTRUCTURE INCENTIVE AND THE WAIVING OF SPECIAL ASSESSMENT CONTESTING AND PUBLIC HEARING FOR THE WILLOW GROVE FIRST ADDITION SUBDIVISON**

---

## **BACKGROUND INFORMATION**

The Village of Bellevue adopted the Residential Infrastructure Policy in 2011. The policy was in response to the downturn in the residential housing market and lending institutions unwillingness to lend for infrastructure for new subdivisions. This led to a slowing of new subdivisions in the Village and a low supply of available single-family residential lots.

The policy allows for the Village of Bellevue to front the costs of the infrastructure and as the lots sell, be paid back for the proportionate share through a special assessment tied to each lot. A minimum number of lots must sell each year and there is a payback time limit for all the lots to be repaid, sold or not. Interest is charged an additional percent over what the Village is able to secure the funds for.

The Village utilized this policy for the first time in 2018 with the Willow Grove Subdivision and developer Paul Kosmoski. In 2018 the Village Board approved the Development Agreement, Personal Guarantee, Disbursement Agreement and Resolution Waiving any Contesting or Public Hearings for the Special Assessments to be tied to the lots of Willow Grove. Staff have felt this process has run relatively smoothly and the Village will be fully reimbursed for by the end of this year for all 36 lots (6 lots remain).

The developer of Willow Grove, Paul Kosmoski, is requesting to utilize this incentive program on the next phase of Willow Grove. If approved, staff will secure the funds, likely through a State Trust Fund Loan, to cover the infrastructure costs for the next phase. A minimum of 7 lots will need to be sold or paid off regardless of sale each year over the course of 3 years. There are 21 lots total in this next phase. Staff is utilizing an estimate of each lots special assessment at this time, but the developer will pay actual costs for infrastructure, inspection, administration, WPS, etc. per the agreement. The assessment will be adjusted up or down at any time during the agreement once final costs are known.

## **REQUESTED MOTION**

***“Motion to Approve Resolution V-14-2021 Waiving the Public Hearing and Ability to Contest Special Assessments for Parcel B-192 and as subdivided in the future as lots contained***

***within the Willow Grove First Addition Subdivision and approve utilizing the Residential Infrastructure Incentive for the Willow Grove Subdivision and execution of all related Agreements and securing of funds.”***

**ATTACHMENTS**

- Resolution V-14-2021
- Development Agreement – Infrastructure Policy
- Infrastructure Agreement



**RESOLUTION NO. V-14-2021  
VILLAGE OF BELLEVUE, BROWN COUNTY, STATE OF WISCONSIN  
WAIVER AND CONSENT TO SPECIAL ASSESSMENTS**

WHEREAS, the undersigned does hereby acknowledge that they are owners of property located in Bellevue, Wisconsin, and are, by and through this instrument, voluntarily waiving any and all statutory assessment procedures, and further irrevocably consenting to the imposition of special assessments, charges, and/or taxes for public improvements or services benefiting the property located on the north side of Willow Road, approximately 580 feet west of Huron Road (CTH EA), Bellevue, Wisconsin being Tax Parcel No. B-192 and as subdivided in the future as Lots 37 thru 57 within Willow Grove First Addition. This agreement may be recorded.

WHEREAS, the project, services, or improvements, and cost to be imposed if known, for which this Waiver and Consent is granted are described as follows:

**Willow Grove First Addition Development: \$1,010,166.43 / 21 Lots = \$48,103.16/Lot\*  
(\*This Is an estimate. Developer will be billed for the actual cost of improvements.)**

WHEREAS, this Waiver is a specific waiver of all rights afforded the undersigned by Chapter 66 Wisconsin Statutes, with respect to notice of public hearings, review of engineering reports, the review of plans and specifications, the timing of the construction, or performance of services, and all rights of objection or appeal. The undersigned acknowledge that the Village of Bellevue is relying on this Waiver and Consent to incur expenditures which will be assessed against the property above and will become a lien on the real estate, and shown on the tax bill for the property until the assessment is paid in full, all pursuant to police powers granted to the Village of Bellevue by state law. Payment of the individual parcel assessments shall be deferred up to three (3) years from the completion of the public improvements, with an interest rate of secured funds interest rate + 1%. Interest shall commence accruing at such time the improvements are complete as identified on the Notice of Improvement Completion sent to the Developer. (See attached Willow Grove Infrastructure Developers Agreement).

WHEREAS, this instrument does hereby constitute a voluntary waiver of such rights of the undersigned and authorizes the Village of Bellevue to proceed with the project pertaining to the property owned by the undersigned without the need to adhere to the statutory requirements set forth in Chapter 66 Wisconsin Statutes, specifically including but not limited to § 66.0703, § 66.0627, and § 66.0907 Wisconsin Statutes.

Dated and effective this \_\_\_\_\_ day of March, 2021.

\_\_\_\_\_  
Paul Kosmoski, Property Owner

STATE OF WISCONSIN        )  
  )SS.  
BROWN COUNTY                )

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 202\_\_, the above names Paul Kosmoski to be known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public:

My commission expires: \_\_\_\_\_

**NOW, THEREFORE, BE IT RESOLVED** that the Village Board of the Village of Bellevue hereby accepts this Waiver and Consent to Special Assessments.

Adopted by the Village Board of the Village of Bellevue, Wisconsin, this 10th day of March 2021.

Approved:

Attest:

\_\_\_\_\_

\_\_\_\_\_

Steve Soukup, President

Karen M. Simons, Clerk

Motion by  
Seconded by

Name	Aye	Nay	Abstain	Absent
Pres. Soukup				
Trustee Katers				
Trustee Gauthier				
Trustee Kaster				
Trustee Sinkler				
Total				

Motion:

Adopted \_\_\_\_\_  
Defeated \_\_\_\_\_

Drafted by: Andrew J. Vissers, Community Development Director



***DEVELOPERS AGREEMENT – WILLOW GROVE FIRST ADDITION INFRASTRUCTURE***  
***Between Paul Kosmoski (Moski Corporation), a Developer and the Village of Bellevue***  
***(Village), a Municipality***

WHEREAS, Developer has received Village approval of a plan to subdivide property he owns in the Village of Bellevue known as the Plat of Willow Grove First Addition; and

WHEREAS, Developer wishes to construct public improvements consisting of public street water, sanitary sewer, storm sewer, curb and gutter and incidental or accessory improvements where necessary, to serve such property legally described as:

Parcel B-192, Lot 2 of 58 Certified Survey Map 111 MAP 8301 and to be further subdivided in the future as Lots 37 through 57, Plat of Willow Grove First Addition as shown on the attached Exhibit A, incorporated herein; and

WHEREAS, pursuant to the Village of Bellevue Residential Infrastructure Policy, the Village of Bellevue can front the costs of residential subdivision infrastructure and assign a special assessment to each lot in the development to pay the Village back with interest for fronting the initial costs; and

WHEREAS, the Village desires to keep a healthy lot inventory of available single-family residential lots within the community; and

WHEREAS the Developer and the Village believe that it is in their mutual best interests and in the public interests of the Village of Bellevue to approve such public improvement construction assistance subject to the terms and conditions provided herein.

NOW THEREFORE, the parties hereto, based on the recitals stated above and for such other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, hereby agree as follows:

1. Upon the Developer recording the Final Plat of Willow Grove First Addition (Exhibit A), the Village Board of the Village of Bellevue will approve a resolution, a final resolution authorizing the levying of special assessments against benefited property for public improvements, Parcel B-192 and to be further subdivided in the future as Lots 37 thru 57, in the Plat of Willow Grove First Addition.

The purpose of the special assessment in addition to the Developer's Personal Guarantee, are to guarantee repayment by the Developer to the Village for the initial payment of those costs for public improvements (\$1,010,166.43) and accrued interest of 1% over what the Village secures for an interest rate in the borrowing of funds per annum.

2. Developer, on its own and on behalf of any and all successors and assigns, requests to install the public improvements specifically provided for in this Agreement.

Willow Grove First Addition – Development Agreement  
Kosmoski – Residential Infrastructure Policy Assistance (2021)

3. Developer, on its own behalf and on the behalf of any and all successors and assigns, freely and voluntarily waives any right it may have under state or local laws to notice of such street, sanitary sewer, water, stormwater, and curb and gutter improvement construction affecting the property legally described in this Agreement, such property hereinafter to be referred to as “the benefited properties”.
4. Payment for the requested public improvements shall be made as provided in this Agreement. It is understood and agreed that, as of the date of the signing of this Agreement, the estimated costs of the public improvements is \$1,010,166.43, as more specifically set forth in Exhibit B attached and incorporated by reference. However, the parties understand and acknowledge that the actual total cost of the improvements may be more than such estimate and that this Agreement allows for the assessment of the actual costs of the construction project, including engineering, legal and administrative fees, of the improvements upon properties defined herein.
5. The assessments hereby levied for such improvement shall be paid as follows:
  - a. Payment of the individual parcel assessments shall be deferred up to three (3) years from the completion of the public improvements, together with an interest rate of 1% more than the secured Village interest rate on the unpaid assessment balance at the time the deferral period ends as provided below. Interest shall commence accruing at such time the improvements are complete as identified on the Notice of Improvement Completion sent to the Developer. Improvements include village utilities, stormwater management and crushed aggregate base course material.
  - b. Payment of individual parcel deferments shall cease and the amount assessed, plus interest, are due, upon transfer of ownership of the parcel against which such assessment is levied. Individual parcels transferred prior to final completion of the project and prior to final determination of the total assessment costs shall have the assessment amount determined by the following formula:
    - i. 
$$\text{Assessment Payment} = (1 + \text{Interest}) \times \left[ \frac{\text{PROJECT ESTIMATE (EXHIBIT B)}}{\text{Number of Lots}} \right]$$
  - c. Upon the expiration of the three (3) years from the date of completion of the Public Improvements.
  - d. Developer shall also execute a personal guarantee of specific transaction guaranteeing repayment of not less than one-third (1/3) of the total public improvement costs to the Village each year of the deferral. Such guarantee is attached hereto as Exhibit C.



6. The full final cost of the public improvements shall be determined at the completion of the project and prorated per parcel. Should the final assessment per lot sum be smaller than the amount actually paid by transferred parcel (s) and/or the guarantee found in Paragraph 5.d, the overage collected shall be determined and paid to Developer, and the assessment per lot not transferred at the time of such pro-ration shall have its final assessment adjusted to conform to the final assessment pro-ration. Should the final assessment per lot be greater than the amount actually paid by the transferred parcel (s) and/or the guarantee found in Paragraph 5.d, the shortage not collected shall be prorated among the parcels not transferred. If all parcels were previously transferred, the shortage not collected shall be payable upon the Personal Guarantee of each principal member of the Developer.
7. The Village and Developer agree the method of determining the assessment rate (total cost/# of parcels) is reasonable.
8. The Village and Developer agree the property will receive special benefit as a result of the public improvements constructed under this Agreement.
9. Developer waives any and all right or recourse it may have, through State or Federal Court pursuant to Wis. Stats. § 66.0703, or otherwise to challenge the assessment agreed to in this agreement, it being the desire of the Developer, to be placed in the same position as if they had been fully and adequately notice of the procedures pertaining to the assessment for the reconstruction activity.
10. The Village shall act in reliance upon the representations of the Developer in this agreement and shall commence as soon as it is reasonably possible the improvements contemplated by this Agreement.
11. This Agreement shall be recorded in the office of the Brown County Register of Deeds.

(Remainder of page intentionally left blank)





Willow Grove First Addition – Development Agreement  
Kosmoski – Residential Infrastructure Policy Assistance (2021)

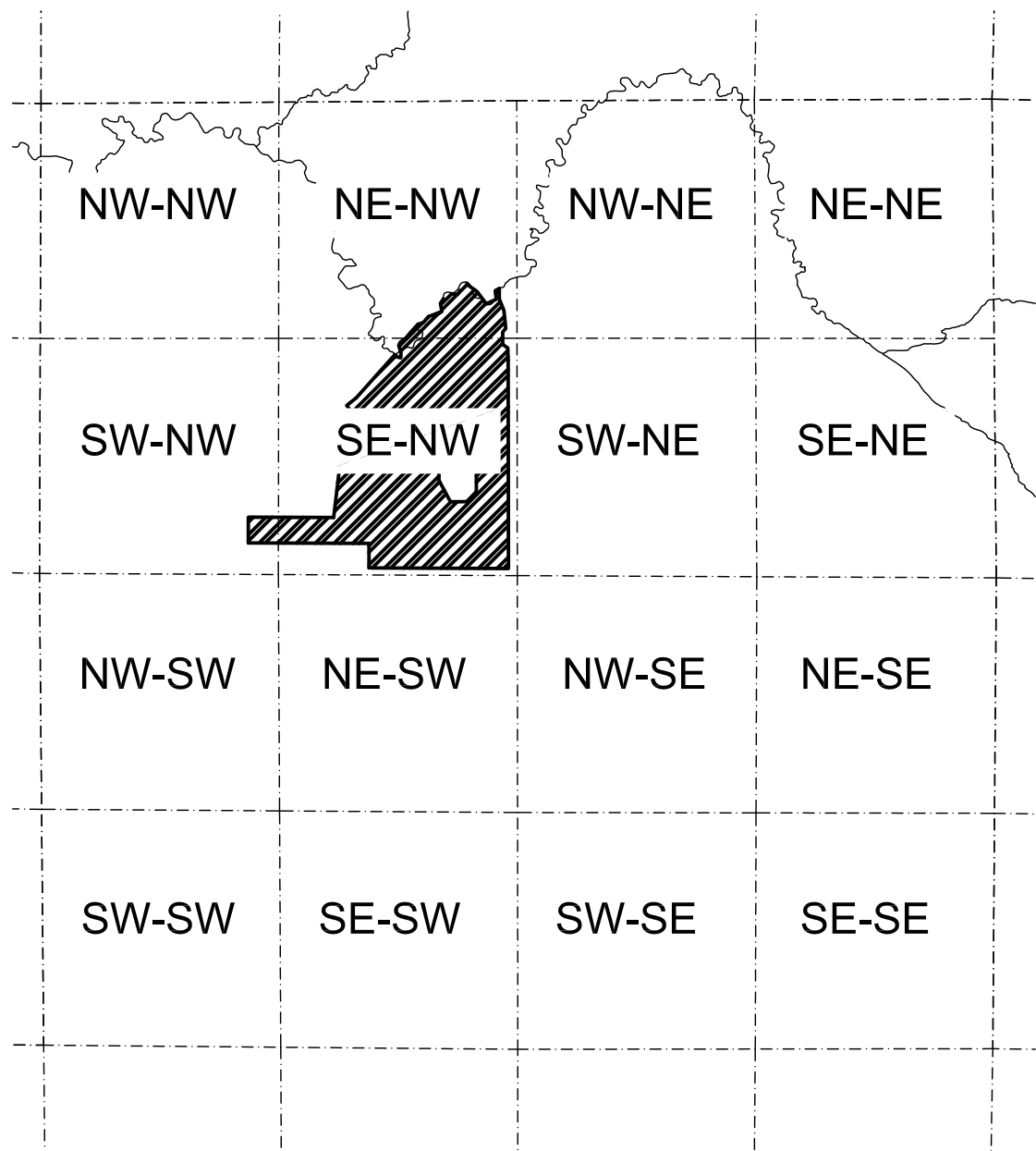
EXHIBITS:

- Exhibit A – Final Plat of Willow Grove
- Exhibit B – Layout & Estimated Cost of Infrastructure
- Exhibit C – Developer Personal Guarantee
- Exhibit D – Disbursement Agreement

# Willow Grove First Addition

Part of Outlot 1, "Willow Grove" (Volume 24, Plats, Page 74, Document No. 2832625, Brown County Records), and part of Lot 2, Volume 58, Certified Survey Maps, Page 111, Map No. 8301, Document No. 2620982, Brown County Records, all being located in part of the Southeast 1/4 of the Northwest 1/4, part of the Southwest 1/4 of the Northwest 1/4 and part of the Northeast 1/4 of the Northwest 1/4, all in Section 23, T23N-R21E, Village of Bellevue, Brown County, Wisconsin.

Location Sketch



Section 23, T23N-R21E  
Village of Bellevue  
Brown County, Wisconsin

Wetland ESA line table

Line Table			Line Table		
Line #	Length	Direction	Line #	Length	Direction
L1	69.97	N35°18'32"W	L24	97.62	S32°08'55"W
L2	108.69	N49°46'56"W	L25	109.63	S09°13'27"E
L3	39.45	S10°03'42"E	L26	27.40	N63°14'26"E
L4	147.88	S57°46'04"E	L27	128.89	N17°06'32"E
L5	7.88	N41°39'06"E	L28	69.58	N55°48'15"E
L6	41.22	S78°05'13"E	L29	51.87	S72°58'54"E
L7	199.15	N03°23'22"W	L30	77.82	N21°10'46"E
L8	74.17	N34°42'24"W	L31	51.10	N25°41'26"W
L9	15.18	S71°44'56"W	L32	45.26	N64°42'55"W
L10	21.17	N15°42'33"W	L33	21.18	S20°55'34"E
L11	44.20	N71°08'36"W	L34	70.32	N38°49'48"E
L12	95.17	N32°15'19"W	L35	82.19	N62°03'38"E
L13	99.11	N22°53'02"W	L36	34.64	N32°45'50"W
L14	221.07	S05°16'26"W	L37	19.94	N66°22'26"W
L15	94.98	S03°21'16"E	L38	60.18	N89°46'50"W
L16	30.25	S81°41'15"E	L39	58.87	S89°17'50"W
L17	41.45	N64°21'09"E	L40	55.23	S42°05'14"E
L18	26.26	S63°12'59"E	L41	59.18	S28°20'26"E
L19	80.34	N49°23'07"E	L42	20.93	N90°00'00"E
L20	96.92	S31°19'03"E	L43	33.38	N05°53'13"E
L21	17.54	S60°10'28"W	L44	40.09	N06°10'41"W
L22	40.81	N28°50'19"W	L45	33.48	N51°43'59"W
L23	171.49	S00°42'14"E			

Graphic Scale



Notes:  
Bearings referenced to the East-West 1/4 line of Section 23, T23N-R21E, assumed to be S89°44'16"E.  
The County Monuments used in this survey are shown, and their ties have been found and verified.

Floodway/Floodplain information obtained from FEMA FIRM Map No. 5509C0283F dated August 18, 2009

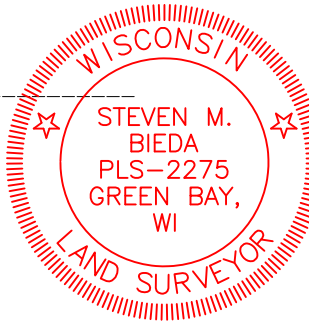
Elevations are referenced to the NAVD 88 Benchmark Datum

Wetlands as per George & Holdt Soil Consulting LLC, July 2020.

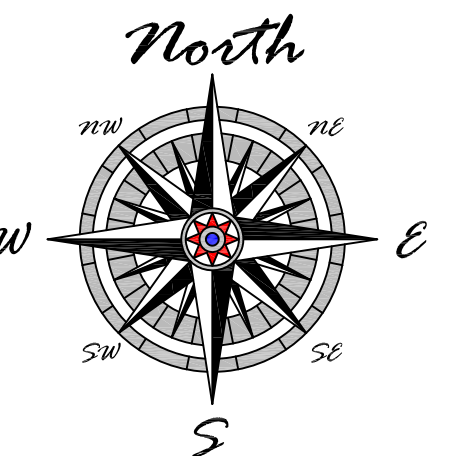
Any land below the ordinary high water mark of a lake or a navigable stream is subject to the public trust in navigable waters that is established under article IX, section 1 of the state constitution.

Legend

- 2" iron pipe found
- 2.38" (o.d.) x 18" iron pipe weighing 3.65 lbs./lin. foot set
- Brown County monument - type noted
- all other lot corners marked with a 1.32" (o.d.) x 18" iron pipe weighing 1.68 lbs./lin. foot.
- all linear measurements have been made to the nearest hundredth of a foot.
- all distances on curves are arc lengths.
- 12' building setback (unless noted)
- 30' building setback (unless noted)
- 12' utility easement (unless noted)



Steven M. Bieda  
PLS-2275  
July 27, 2020



There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration

Office of the Register of Deeds  
Brown County, Wisconsin

Received for Record \_\_\_\_\_, 20\_\_\_\_

at \_\_\_\_\_ o'clock \_\_\_\_\_ M and recorded as \_\_\_\_\_ in \_\_\_\_\_

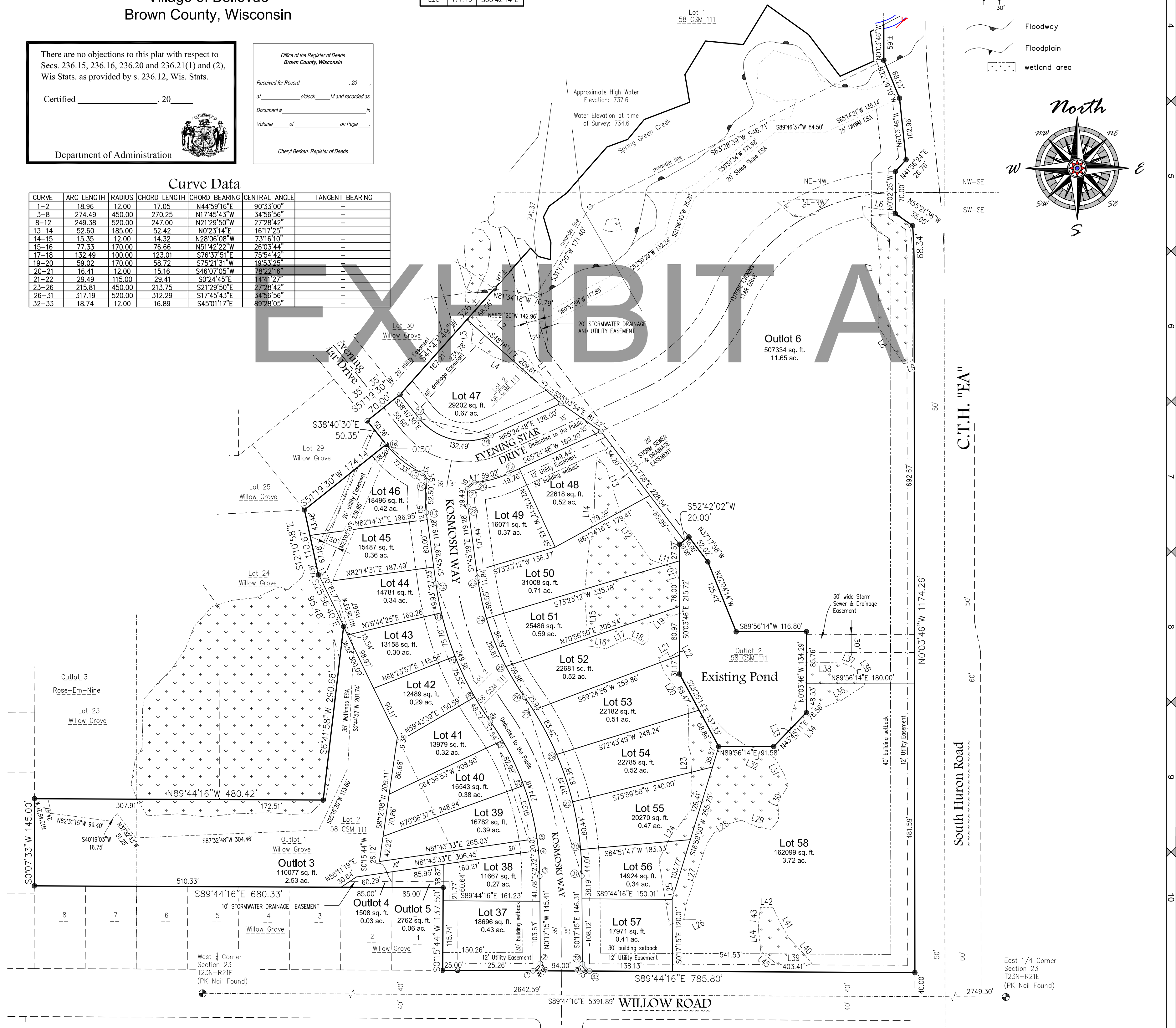
Volume \_\_\_\_\_ of \_\_\_\_\_ on Page \_\_\_\_\_

Cheryl Berken, Register of Deeds

Curve Data

CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1-2	18.96	12.00	17.05	N44°59'16"E	90°33'00"	
3-8	274.49	450.00	270.25	N17°45'43"W	34°56'56"	
8-12	249.38	920.00	247.00	N21°29'50"W	27°28'42"	
13-14	52.60	185.00	52.42	N0°23'14"E	16°17'25"	
14-15	15.35	12.00	14.32	N28°06'08"W	7°31'10"	
15-16	77.33	170.00	76.86	N51°42'22"W	26°03'44"	
17-18	132.49	100.00	123.01	S75°57'51"E	75°54'42"	
19-20	59.02	170.00	58.72	S75°21'31"W	19°53'25"	
20-21	16.41	12.00	15.16	S46°07'05"W	78°22'16"	
21-22	29.49	115.00	29.41	S0°24'45"E	14°41'27"	
23-26	215.81	450.00	213.75	S21°29'50"E	27°25'42"	
26-31	317.19	920.00	312.29	S17°45'43"E	34°56'56"	
32-33	18.74	12.00	16.89	S45°01'17"E	89°28'05"	

EXHIBIT A



DRAWING NO.  
**P-2436**

SHEET NO.  
**1 of 2**

PROJECT NO.  
K-16805

**Moski Corp**

**Mau & Associates, LLP**  
LAND SURVEYING & PLANNING  
CIVIL & WATER RESOURCE ENGINEERING  
Phone: 920-434-9670 Website: www.mau-associates.com  
400 Security Blvd, Green Bay, WI 54313

TAX PARCEL NO. B-192, B-2674

**Willow Grove  
First Addition**

SCALE  
1"=100'

DRAWN BY  
MRA



# Willow Grove First Addition

Part of Outlot 1, "Willow Grove" (Volume 24, Plats, Page 74, Document No. 2832625, Brown County Records), and part of Lot 2, Volume 58, Certified Survey Maps, Page 111, Map No. 8301, Document No. 2620982, Brown County Records, all being located in part of the Southeast 1/4 of the Northwest 1/4, part of the Southwest 1/4 of the Northwest 1/4 and part of the Northeast 1/4 of the Northwest 1/4 and part of the Northeast 1/4 of the Northwest 1/4, all in Section 23, T23N-R21E, Village of Bellevue, Brown County, Wisconsin.

## SURVEYOR'S CERTIFICATE

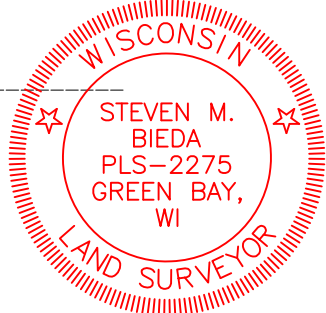
I, Steven M. Bieda, Professional Land Surveyor, PLS-2275, hereby certify:

That in full compliance with the provisions of Chapter 236, Wisconsin Statutes, and the subdivision regulations of the Village of Bellevue and the Brown County Planning Commission and under the direction of the owners listed hereon, I have surveyed, divided and mapped "Willow Grove First Addition", and that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed and is part of Outlot 1, "Willow Grove" (Volume 24, Plats, Page 74, Document No. 2832625, Brown County Records), and part of Lot 2, Volume 58, Certified Survey Maps, Page 111, Map No. 8301, Document No. 2620982, Brown County Records, all being located in part of the Southeast 1/4 of the Northwest 1/4, part of the Southwest 1/4 of the Northwest 1/4 and part of the Northeast 1/4 of the Northwest 1/4, all in Section 23, T23N-R21E, Village of Bellevue, Brown County, Wisconsin, more fully described as follows:

Beginning at the Southeast corner of Lot 2, Volume 58, Certified Survey Maps, Page 111, Map No. 8301, Document No. 2620982, Brown County Records; thence N00°3'46"W, 481.59 feet along the East line of said Lot 2 also being the West right of way of South Huron Road, also known as County Highway "EA"; thence S89°56'14"W, 180.00 feet to an East line of Outlot 2 of said Map No. 8301; thence N00°3'46"W, 85.76 feet along said Outlot 2; thence S89°56'14"W, 116.80 feet along said Outlot 2; thence N22°04'14"W, 125.42 feet along said Outlot 2; thence N37°17'58"W, 52.02 feet along said Outlot 2; thence S52°42'02"W, 20.00 feet along said Outlot 2; thence S00°3'46"E, 215.72 feet along said Outlot 2; thence S28°25'14"E, 137.33 feet along said Outlot 2; thence N89°56'14"E, 91.58 feet along said Outlot 2; thence N43°45'11"E, 78.56 feet along said Outlot 2; thence N00°3'46"W, 48.53 feet along said Outlot 2; thence N89°56'14"E, 180.00 feet; thence N00°3'46"W, 692.67 feet along the East line of said Lot 1 and said West right of way; thence 68.34 feet along said West right of way being the arc of a 1000.00 foot radius curve to the left whose long chord bears N2°01'13"W, 68.31 feet; thence N55°21'36"W, 35.05 feet along said West right of way; thence N00°2'25"W, 70.00 feet along said West right of way; thence N41°56'24"E, 26.76 feet along said West right of way; thence N6°03'46"W, 102.96 feet along said West right of way; thence N22°29'10"W, 68.23 feet to a point being on the said West right of way, S00°3'46"E, 59 feet more or less from the centerline of Spring Creek and the start of a meander line; thence S63°28'39"W, 546.71 feet along said meander line; thence S31°17'20"W, 171.40 feet along said meander line; thence N81°34'18"W, 70.79 feet along said meander line to a point being S41°43'49"W, 91 feet more or less from the centerline of Spring Creek and the end of said meander line; thence S41°43'49"W, 235.78 feet along the East line of Lot 30, Willow Grove (Volume 24, Plats, Page 74, Document No. 2832625, Brown County Records); thence S51°19'30"W, 70.00 feet along the Southeastly right of way of Evening Star Drive; thence S38°40'30"E, 50.35 feet along the Northeastly line of Lot 29, said Willow Grove; thence S51°19'30"W, 174.14 feet along the Southerly line of said Lot 29; thence S12°10'58"E, 110.67 feet along an Easterly line of Lot 24 of said Willow Grove; thence S25°56'40"E, 95.48 feet along an Easterly line of said Lot 24; thence S6°41'58"W, 290.68 feet along a Westerly line of Outlot 1 of said Willow Grove; thence N89°44'16"W, 480.42 feet along a Northerly line of said Outlot 1; thence S00°7'33"W, 145.00 feet along a Westerly line of said Outlot 1; thence S89°44'16"E, 680.33 feet along a Southerly line of said Outlot 1; thence S01°5'44"W, 137.50 feet along a Westerly line of said Outlot 1; thence S89°44'16"E, 785.80 feet along the Southerly line of said Outlot 1 and the South line of said Lot 1, Map No. 8301, also being the North right of way of Willow Road to the point of beginning.

Parcel contains 1,267,371 square feet / 29.09 acres more or less, including all lands lying between the meander line and the centerline of Spring Green Creek.  
Road dedication contains 86,332 square feet / 1.98 acres more or less.  
Parcel subject to easements and restrictions of record.

Steven M. Bieda  
PLS-2275  
July 27, 2020



## CERTIFICATE OF THE BROWN COUNTY PLAN COMMISSION

Approved for the Brown County Plan Commission this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Dan Teeters  
Senior Planner

## CERTIFICATE OF THE BROWN COUNTY TREASURER

As duly elected Brown County Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Plat as of the dates listed below.

Paul D. Zeller Date  
Brown County Treasurer

## CORPORATE OWNER'S CERTIFICATE

Moski Corporation, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that we caused the land described on Willow Grove First Addition to be surveyed, divided, mapped and dedicated as represented hereon. Moski Corporation also certifies that this Plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection:

VILLAGE OF BELLEVUE  
BROWN COUNTY PLANNING COMMISSION  
DEPT. OF ADMINISTRATION

In Witness Whereof, the said Moski Corporation has caused these presents to be signed by Paul Kosmoski, its Member, on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Paul Kosmoski Member

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, the above named Member of said Corporation and acknowledged that he executed the foregoing instrument as such Member as the deed of said Corporation, by its authority.

Notary Public My Commission Expires \_\_\_\_\_  
Brown County, Wisconsin

STATE OF WISCONSIN ]  
] SS  
COUNTY OF BROWN ]

## NOTES

The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in the Wisconsin Construction Site Erosion and Sediment Control Technical Standards (available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the Village has adopted a soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction, or installation-related activities.

Lots 45-48, 50-58 and Outlots 3 and 4 include wetland areas that may require permits from the Wisconsin Department of Natural Resources, Army Corps of Engineers, Brown County Planning Commission, or the local municipality's Zoning Administrators Office prior to any development activity.

A Shoreland Permit from the Brown County Zoning Administrator's office is required for Lots 47, 48 and Outlot 4 prior to any construction, fill, excavation or grading activity within 300 feet of the Ordinary High Water Mark (OHWM) of navigable rivers or streams, or to the landward side of the floodplain, whichever is greater, any/or 1000' of the OHWM of navigable lakes, ponds or flowages.

Outlot 3 to be owned and maintained by the Village of Bellevue for the use of a stormwater management pond.

Outlot 4 to be owned and maintained by developer.

## RESTRICTIVE COVENANTS

The land on all side and rear lot lines of all lots shall be graded by the lot owner and maintained by the abutting property owners to provide for adequate drainage of surface water.

Each lot owner shall grade the property to conform to the adopted sidewalk grade elevation and maintain said elevation for future sidewalks.

No poles, pedestals or buried cable are to be placed so as to disturb any survey stake or obstruct vision along any lot lines or street line, a disturbance of a survey stake by anyone is a violation of section 236.32 of the Wisconsin Statutes.

The following shall be enforced by the Village of Bellevue: The land on all side lot lines containing drainage easements and all rear lot lines shall be graded at the time of initial plat development by the developer and/or agents according to the Village approved and WDNR accepted stormwater management plan in conformance with the requirements of the Bellevue Stormwater Utility. Individual lot owners and/or agents shall not change the Village approved and established lot grades.

The following shall be the sole responsibility of the abutting property owners: All side and rear lot lines not regulated by the Bellevue Stormwater Utility shall be graded and maintained in cooperation with abutting property owners, so as to neither impede the flow of stormwater, nor negatively impact any abutting property, while functioning in harmony with the established Village approved and WDNR accepted stormwater management plan.

Lots 43-48, Lots 50-58 and Outlots 3 and 4 contain an environmentally sensitive area (ESA) as defined in the Brown County Sewage Plan. The ESA includes wetlands, all land within 35 feet of wetlands, 2 acres or greater, floodway, all land within 35 feet of the floodway or 75 feet beyond the ordinary high water mark -whichever is greater, navigable waterways, all land within 75 feet of the ordinary high water mark of navigable waterways, steep slopes of 20% or greater associated with any aforementioned water or natural resource features and a 20-foot setback from top and bottom of steep slopes. Development and land disturbing activities are restricted in the ESA unless amendments are approved by the Brown County Planning Commission and the Wisconsin Department of Natural Resources.

## CERTIFICATE OF THE VILLAGE OF BELLEVUE TREASURER

As duly elected Village of Bellevue Treasurer, I hereby certify that the records in our office show no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Plat as of the dates listed below.

Karen Simons  
Village Clerk - Village Treasurer

## CERTIFICATE OF THE VILLAGE OF BELLEVUE

Approved for the Village of Bellevue this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Angela Gorall  
Village Administrator

## UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by

Moski Corporation, Grantor, to

WISCONSIN PUBLIC SERVICE CORPORATION, a Wisconsin corporation, Grantee,

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than six inches without written consent of grantees. This Utility Easement Provision does not prevent or prohibit others from utilizing or crossing the Utility Easement as the Utility easement(s) are non-exclusive.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

## CORPORATE OWNER'S CERTIFICATE

Village of Bellevue, a Municipal corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that we caused the land described on Willow Grove First Addition to be surveyed, divided, mapped and dedicated as represented hereon. Village of Bellevue also certifies that this Plat is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection:

VILLAGE OF BELLEVUE  
BROWN COUNTY PLANNING COMMISSION  
DEPT. OF ADMINISTRATION

In Witness Whereof, the said Moski Corporation has caused these presents to be signed by Paul Kosmoski, its Member, on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Member

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, the above named Member of said Corporation and acknowledged that he executed the foregoing instrument as such Member as the deed of said Corporation, by its authority.

Notary Public My Commission Expires \_\_\_\_\_  
Brown County, Wisconsin

STATE OF WISCONSIN ]  
] SS  
COUNTY OF BROWN ]

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_



Department of Administration

**Mau & Associates, LLP**  
LAND SURVEYING & PLANNING  
CIVIL & WATER RESOURCE ENGINEERING  
Phone: 920-434-9670 Website: www.mau-associates.com  
400 Security Blvd, Green Bay, WI 54313

TAX PARCEL NO. B-192, B-2674  
**Willow Grove  
First Addition**

SCALE  
1"=100'  
DRAWN BY  
MRA

PROJECT NO.  
K-16805  
SHEET NO.  
2 of 2  
DRAWING NO.  
P-2436

File: K-16805\Final Plat First Addition\FB0814\805B.txt

**K-16805 Willow Grove First Addition**  
**Cost Estimate**  
**Date: 2/8/21**

Staking & As-built Survey (estimate)	\$ 10,075.00
Inspections Utility (REL)	\$ 25,500.00
Inspections Roadwork (REL)	\$ 15,500.00
Geotechnical Testing (estimate from previous phase)	\$ 5,000.00
Platting (actual)	\$ 10,625.00
Engineering (actual)	\$ 46,394.38
Construction Administration (estimage 3% of Construction)	\$ 21,618.60
Gas & Electric (estimate \$3,000/lot)	\$ 63,000.00
Construction	\$ 720,620.13
Sub-Total	\$ 918,333.11
Contingency 10%	\$ 91,833.31
Total	\$1,010,166.43
Number of Lots	21
Cost per Lot	\$ 48,103.16

# EXHIBIT B



## **EXHIBIT C**

### **UNLIMITED PERSONAL GUARANTEE OF SPECIFIC TRANSACTION**

**(Paul Kosmoski)**

1. GUARANTEE. For value received, and to induce the Village of Bellevue (Village) to extend credit to Moski Corporation (Developer) for the installation of public improvements benefitting property owned by Developer, Paul Kosmoski (hereinafter "the undersigned") guarantees payment of and promises to pay or cause to be paid to the Village, when due and as described herein, or to the extent not prohibited by law, at the time the Developer becomes a subject of bankruptcy or other insolvency proceedings, the total construction costs incurred by the Village in constructing said public improvements.

Such public improvements, (estimated to cost \$1,010,166.43 but which can exceed such amount) for which the undersigned agrees to repay, plus interest charges and fees as provided for in the Agreement Waiving Notice and Agreeing to Special Assessments for Public Improvements (the Agreement), and any extensions, renewals, and deferrals thereof, and also including the amount of any payments made to the Village on behalf of Developer which are recovered from Village by a trustee, receiver, creditor, or any other party pursuant to applicable law (the obligations) and to the extent not prohibited by law, all costs, expenses, fees, at any time paid or incurred in the endeavoring to collect all or part of the obligations or to realize this guarantee or any collateral securing any obligation. To the extent not prohibited by law, this guarantee is valid and enforceable against the undersigned, even though any obligation is invalid and unenforceable against Developers.

2. TIMING OF REPAYMENT OR SATISFACTION OF NON PAYMENT. Repayment as guaranteed herein, shall be made over a three (3) year period, as follows:

A. Not less than one-third of the total public improvement costs funded by the Village in accordance with the Agreement shall be re-paid to the Village in each year of the assessment deferral (first payment shall be due in 2021). Such one-third payment shall be made first at the transfer of ownership of individual parcel assessed and, if such amounts not sufficient, by the undersigned pursuant to this Guarantee.

B. The full costs of the public improvements shall be calculated at the completion of the project. However, assessments shall initially be levied based upon the construction estimate of \$1,010,166.43 based upon Exhibit B to the Agreement as well as estimated WPS lighting costs and administrative staff time, upon parcels transferred prior to completion of the project. Should the final assessment per lot sum be smaller than the amount actually paid by transferred parcel(s) and/or the guarantee found in Paragraph 5.d of the Agreement, the overage collected shall be prorated among the parcels not transferred as of

the date of completion. Should the final assessment per lot be greater than the amount actually paid by the transferred parcels and/or the guarantee found in Paragraph 5.d of the Agreement, such shortage collected shall be prorated among the parcels not transferred. If all parcels were previously transferred, the shortage not collected shall be payable upon this Guarantee.

3. REPRESENTATIONS. The undersigned acknowledges and agrees that Village has not made any representation or warranties with respect to, does not assume any responsibility to the undersigned for, and has no duty to provide information to the undersigned regarding the collectability or enforceability of any of the obligations or the financial condition of the Developer. The undersigned has independently determined that collectability and enforceability of the obligations and, until the obligations are paid in full, will independently, and without reliance on the Village, continue to make such determinations.

4. PERSONS BOUND. This guarantee benefits the Village, its successors and assigns, and binds the undersigned, his respective heirs, personal representatives, and assigns.

Dated in Bellevue, Wisconsin, this \_\_\_\_ day of \_\_\_\_\_, 202\_\_.

\_\_\_\_\_  
Paul Kosmoski

STATE OF WISCONSIN     )  
  )SS.  
BROWN COUNTY            )

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 202\_\_, the above names Paul Kosmoski to be known to be the person who executed the foregoing instrument and acknowledged the same.

\_\_\_\_\_  
Notary Public:

My commission expires:\_\_\_\_\_



## EXHIBIT D

### INFRASTRUCTURE DISBURSING AGREEMENT

THIS DISBURSING AGREEMENT is made and entered into as of the \_\_\_\_ day of \_\_\_\_\_, 202\_\_\_\_, by and among Paul Kosmoski, (Moski Corporation) a Developer (hereinafter referred to as “Developer”) and the Village of Bellevue (hereinafter referred to as the “Village”).

#### RECITALS

The Village and Developer have entered into a Development Agreement dated \_\_\_\_\_, 2021 (the “Agreement”) pursuant to which, among other things, the Developer has agreed to construct certain Public Infrastructure (the “Work”) upon property being developed by Developer and as described in the attached Final Plat of Willow Grove First Addition marked Exhibit “A” (the “Development”).

Pursuant to the Agreement, the Village is to contribute One Million Ten Thousand One Hundred Sixty-Six Dollars and Forty-Three Cents (\$1,010,166.43) (the “Funds”) for the construction of the Work; the process to secure the Funds are to be commenced upon approval of a resolution by the Village Board.

The Village requires assurance that the Funds will be used solely for the Work and that any contractors hired by the Developer to perform the Work receive full payment.

The Village of Bellevue Clerk will act as the agent in order to pay the Developer out of the Funds for the Work, according to the terms and subject to the conditions hereinafter set forth.

NOW, THEREFORE, in consideration of the premises and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties hereto agree as follows:

1. **Definitions.** For purposes of this agreement, unless the context is otherwise requires, all words used herein which are defined in the Agreement shall have the same meaning as is given in the Agreement.
2. **Purpose of Disbursements.** Subject to the terms of this Agreement, the purpose of the funds are to:
  - a.** Pay costs incurred only in connection with the Work.
  - b.** Obtain releases and satisfaction of liens and other encumbrances, if any.
3. **Contractor.** The Contractor is the Developer.

4. **Conditions of First Disbursement.** Prior to the first disbursement of Funds hereunder, Village shall be furnished:
- a.** A Copy of the construction budget or use of proceeds schedule executed by the Developer and reviewed by the Village setting forth the amounts budgeted to be disbursed from the Funds for all items which in the aggregate constitute the costs of the Work, as well as the estimate of the scheduled dates for such disbursements.
  - b.** A sworn statement prepared by the Developer and reviewed by the Village disclosing the various subcontracts entered into by the Developer and setting forth the names of all Subcontractors with whom the Developer has contracted to date, their addresses, work or materials to be furnished, amounts of the contracts, amounts paid to date, and balance due.
  - c.** Copies of the construction contract, the subcontracts, and any other documents pertaining to the Work provided to the Village.
5. **Conditions of Each Disbursement.** At least ten (10) days prior to the date of which each disbursement of funds is requested, and before the fifteenth (15<sup>th</sup>) day of the month, and not more than one time per month, Village shall be furnished with:
- a.** A sworn statement of the Developer and reviewed by the Village setting forth all subcontractors with whom the Developer has contracted to date, the amounts of the subcontracts, the amounts paid to date, the amounts being requested and the balance due.
  - b.** A Disbursement Request, executed by the Developer in connection with the requested disbursement, stating among other things, a complete description of the Work completed and the date the Work was completed for which payment is requested (Disbursement Request).
  - c.** An unconditional waiver of liens for sums to be paid from the current draw and unconditional mechanics lien waivers, or releases of lien from all subcontractors who were paid from the immediately preceding Disbursement Request satisfactory of Village.



6. **Village to Notify Developer.** Not later than five (5) business days following receipt of the documents delivered to it pursuant to Paragraph 5, Village will notify the developer both orally and in writing (i) whether the delivered documents are satisfactory to it and (ii) whether it has received the lien waivers from the Developer and all of the subcontractors who should have been paid by it from the proceeds of the disbursement made in response to the previous Disbursement Request. If waivers are missing, Village will promptly advise the Developer, in reasonable detail, of the deficiency or missing lien waivers, as the case may be. If such deficiency is corrected to the satisfaction of Village, then Village will make disbursement to the Developer according to Paragraph 8 below.
7. **Payments by Village.** Village will pay the Developer. The Developer is responsible for direct payment to each subcontractor and all other persons identified in the relevant Disbursement Request.
8. **Books and Records.** Village will keep and maintain, at all times, full, true and accurate books and records, in sufficient detail to reflect the disbursements made by it hereunder. The Developer may, during normal business hours, examine all books and records of Village pertaining to the disbursements made by it hereunder and make extracts therefrom and copies thereof.
9. **Miscellaneous.** This Agreement shall be binding upon the parties hereto and their respective successors and assigns; provided. This Agreement can be amended or modified only by writing signed by the parties hereto. This Agreement shall be governed by the State of Wisconsin.
10. **Counterparts.** This Agreement may be executed in counterparts, each of which shall be deemed an original, and all of which taken together shall be deemed one Agreement.
11. **Acceptance of Infrastructure.** All unconditional mechanics lien waivers, or releases of lien from all subcontractors who were paid for all work related to the infrastructure shall be submitted to the Village and all work must be done in a satisfactory manner subject to Village inspection prior to acceptance of the infrastructure by the Village Board.

IN WITNESS WHEREOF, the parties hereto have executed this agreement the day and year first above written.

**DEVELOPER:  
Moski Corporation**

By: \_\_\_\_\_  
Paul Kosmoski, Managing Member

**VILLAGE:  
VILLAGE OF BELLEVUE**

By: \_\_\_\_\_  
Steve Soukup, President

By: \_\_\_\_\_  
Karen Simons, Village Clerk/Treasurer



# Village of Bellevue, Wisconsin

---

## Infrastructure Agreement for Willow Grove First Addition By Moski Corporation

THIS AGREEMENT, made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ between the VILLAGE of Bellevue, Wisconsin, (VILLAGE) through the VILLAGE Administrator as authorized by the VILLAGE Board and Moski Corporation (DEVELOPER).

IN CONSIDERATION of the following mutual agreements and covenants, the parties hereby agree as follows:

1. In consideration of the VILLAGE accepting the plat, certified survey map or development described as Willow Grove First Addition, the DEVELOPER shall provide per approved plans water systems, storm drainage facilities, sanitary sewers, and street improvements including concrete curb and gutter, street lighting, signage, paving, landscaping and other improvements as specified herein, all in conformance with current VILLAGE standards, and more specifically outlined in the Special Conditions, Plans and Specifications attached to this agreement.
  - a. The DEVELOPER shall provide water and sanitary systems as specified herein, all in conformance with current VILLAGE OF BELLEVUE standards, and more specifically outlined in the Special Conditions, Plans and Specifications attached to this agreement.
2. The DEVELOPER shall provide the VILLAGE with plans, specifications, and an itemized bid tab for the required improvements prepared by a Registered Professional Engineer licensed in the State of Wisconsin. The plans, specifications, and itemized bid tab shall be prepared in accordance with this agreement are subject to review and written approval by the VILLAGE Director of Public Works. Upon written approval, said plans and specifications are hereby incorporated and made a part of this agreement. No

30 deviation from the approved plans and specifications will be permitted unless  
31 approved in writing by the VILLAGE Director of Public Works.

32 3. The DEVELOPER shall submit a list of GENERAL CONTRACTORS being  
33 considered for carrying out the construction to the VILLAGE. The  
34 VILLAGE shall review and approve the list and within three (3) business  
35 days of list receipt. Any changes to the list supplied by the DEVELOPER  
36 will have documentation supporting the removal of any GENERAL  
37 CONTRACTOR from the list.

38 4. The VILLAGE will not have any direct responsibility for payments made to  
39 the GENERAL CONTRACTOR or their subcontractors. All payments to the  
40 GENERAL CONTRACTOR shall be made by the DEVELOPER as outlined  
41 in the contract executed between the DEVELOPER and the GENERAL  
42 CONTRACTOR. The VILLAGE is not party to the agreement between the  
43 DEVELOPER and GENERAL CONTRACTOR. Payments made to the  
44 DEVELOPER by the VILLAGE will be covered underneath the  
45 DEVELOPERS AGREEMENT for Willow Grove First Addition.

46 5. No construction work shall commence on the project until written approval  
47 of the plans and specifications is obtained, and the development agreement  
48 has been executed, including the required insurance and financial guarantees.  
49 The DEVELOPER further agrees that written approval and authorization to  
50 proceed shall be secured from the appropriate agency as shown below prior  
51 to each of the following construction operations:

- 52 (a) Erosion Control Installation.
- 53 (b) Rough grading.
- 54 (c) Construction of sanitary sewer mains, sewer services, water main,  
55 and water services.
- 56 (d) Storm drainage facilities, and appurtenances.
- 57 (e) Construction of aggregate base for streets.
- 58 (f) Construction of concrete curb and gutter, and driveway approaches.



59 (g) Street pavement.

60 (h) Turf and landscaping establishment.

61 6. The DEVELOPER shall submit for VILLAGE approval a written progress  
62 schedule indicating the proposed order of completion of the work covered by  
63 this agreement. Upon approval, said schedule and completion dates are  
64 hereby made a part of this agreement. No deviation from this schedule will  
65 be permitted unless approved in writing by the VILLAGE. Upon receipt of  
66 written notice from the DEVELOPER of a delay in the schedule, of the  
67 existence of causes over which the DEVELOPER has no control, any  
68 financial sureties required shall be continued to cover the work during the  
69 extension of time. No construction (including grading) shall start until the  
70 schedule is received.

71 7. The DEVELOPER shall furnish all engineering services for the project,  
72 including but not limited to:

73 (a) Preparation of complete plans and specifications for the required  
74 improvements by a registered Professional Engineer licensed to  
75 practice in the State of Wisconsin.

76 (b) Submittal for approval of sewer and water extensions by the  
77 Wisconsin Department of Natural Resources, as required by  
78 Wisconsin Administrative Code.

79 (c) Submittal for approval of all stormwater management plans, permits,  
80 and administration of said facilities and permits.

81 (d) Construction engineering administration and supervision to assure  
82 compliance with the approved plans and specifications.

83 (e) The DEVELOPER shall reimburse the VILLAGE for any costs  
84 incurred as a result of VILLAGE staff or consulted professional  
85 engineering review of the plans and specifications. Payment of the  
86 review costs shall be made in full by the DEVELOPER prior to the  
87 start of construction.

88 (f) The DEVELOPER shall reimburse the VILLAGE for providing an  
89 independent full-time resident inspection during all utility  
90 construction operations, and part time inspection as determined by the  
91 Engineer and VILLAGE for all other work. As an alternative the

92 DEVELOPER may contract directly for independent inspection  
93 services, with written approval of the VILLAGE. The full-time  
94 inspector shall be a Professional Engineer licensed to practice in the  
95 State of Wisconsin or working under the supervision of a Professional  
96 Engineer licensed to practice in the State of Wisconsin. No work shall  
97 be performed within the public right-of-way or public easements  
98 unless the inspector is present on the site. The inspector shall keep  
99 daily inspection records, a copy of which must be submitted to the  
100 VILLAGE and the Developer's Engineer on a daily basis.

101 (g) The Developer's Engineer shall meet with the VILLAGE weekly or  
102 providing a written status report on a weekly basis to update the  
103 construction status. Failure to inform the VILLAGE will constitute a  
104 violation of this agreement and may be grounds for issuance of a stop  
105 work order on the project. Prior to the issuance of a stop work order  
106 on the project, the VILLAGE shall provide the DEVELOPER with  
107 written notice as to the failure to meet or provide a written status  
108 report as required and DEVELOPER shall be given forty-eight hours  
109 to cure the defect and meet with the VILLAGE or provide a written  
110 status report, unless there is an immediate health and/or safety threat  
111 to either party or the public at large.

112 (h) Upon completion of the work, provide the VILLAGE with a full set  
113 of digital as-built drawings in Autocad.dwg format and .pdf form, and  
114 one full set of hardcopy (paper) as-built drawings for VILLAGE  
115 records. Said as-built plans shall be submitted within 120 days of  
116 final project acceptance. All visible infrastructure shall be located by  
117 GPS and be designated by horizontal coordinates, and vertical  
118 elevation using the Brown County Coordinate system. Data files  
119 with this information shall be given to the VILLAGE upon final  
120 acceptance of the project.

121 (i) The VILLAGE may exercise direct observation of the work through  
122 employed VILLAGE staff or an independent third-party inspector  
123 during the construction operations. The VILLAGE inspector will  
124 require certain tests to be made to assure compliance with VILLAGE  
125 standards and the approved plans and specifications. The VILLAGE  
126 will work with the DEVELOPER'S Engineer, as the official  
127 representative of the DEVELOPER, concerning engineering and  
128 construction matters. Testing required during construction shall be  
129 ordered by the VILLAGE and paid for by the DEVELOPER. The  
130 testing company shall provide the DEVELOPER with all results and



131 invoices. A copy of all testing results shall be provided to the  
132 VILLAGE designated inspector as soon as the results are available.

133 8. The DEVELOPER agrees that the work shall be completed to the highest  
134 quality and performed in a workmanlike manner and that all materials and  
135 labor shall be in strict conformity with the approved plans and specifications  
136 and improvement standards of the VILLAGE. All materials, labor and  
137 workmanship shall be subject to the inspection and approval of the  
138 VILLAGE or a duly authorized Engineer of the VILLAGE. Any material or  
139 labor rejected by the VILLAGE as defective or unsuitable shall be removed  
140 and replaced with approved materials and workmanship to the satisfaction  
141 and approval of the VILLAGE. Said removals and replacements shall be at  
142 the sole expense of the DEVELOPER. DEVELOPER agrees that it is  
143 DEVELOPER'S responsibility to assure that all construction is in accordance  
144 with the approved plans and specifications. Any errors or omissions during  
145 either design or construction are the responsibility of the DEVELOPER and  
146 DEVELOPER shall be responsible for all costs to correct.

147 9. Upon completion of all the required improvements, the VILLAGE Director  
148 of Public Work or designated representative, a representative of the  
149 Contractor, and a representative of the DEVELOPER'S engineer, will make a  
150 final inspection of the work. Before final payment is made to the contractor  
151 by the DEVELOPER, the VILLAGE Director of Public Works, or designee,  
152 shall be satisfied that all work has been completed in accordance with the  
153 approved plans and specifications. The DEVELOPER'S Engineer shall  
154 submit a written statement attesting to the same prior to final acceptance by  
155 the VILLAGE.

156 10. Prior to starting any work, and upon execution of this agreement, the  
157 DEVELOPER and/or his Contractor shall furnish to the VILLAGE, a Letter  
158 of Credit or Certified Check guaranteeing the completion of the work. The  
159 DEVELOPER shall supply the VILLAGE with a copy of the signed contract

160 from the GENERAL CONTRACTOR prior to starting any work (including  
161 erosion control installation). The contract shall include the language:

162 **GUARANTEE**

163 The Contractor hereby guarantees all the work furnished under this contract against  
164 any defect in workmanship of material for a period of two (2) years, except that all  
165 concrete work shall be guaranteed for three (3) years, following the date of final  
166 acceptance of the work by the VILLAGE. Under this guarantee, the Contractor  
167 agrees to make good without delay at his own expense any failure of any such work  
168 due to faulty materials, construction or installation or to the failure of any such  
169 equipment to successfully perform all the work put upon it within the limits of the  
170 specifications and further shall make good any damage to any part of the work  
171 caused by such failure.

172 11. The DEVELOPER shall furnish the VILLAGE with proof of insurance in the  
173 amount as required by the approved specifications covering any public  
174 liability or property damage by reason of the operation of the DEVELOPER  
175 or the DEVELOPER’S Contractors’ equipment, laborers, and hazard caused  
176 by said improvements. No construction (including grading) may start until  
177 proof of insurance is received. Insurance required is as follows:

178 1. **Insurance Requirements**

179 Contractor shall procure and maintain for the duration of the contract insurance  
180 against claims for injuries to persons or damages to property which may arise  
181 from or in connection with performance of the work hereunder by the  
182 Contractor, his agents, representative, employees or subcontractors. The cost  
183 of such insurance is the Contractor’s responsibility.

184 2. **Minimum Scope of Insurance**

185 Coverage shall be at least as broad as: Insurance Services Office commercial  
186 general liability coverage, “occurrence” form CG 0001. Insurance Service  
187 Office form number CA 0001 covering automobile liability, code 1 “any auto”  
188 and endorsement CA 0025. Workers’ compensation insurance, as required in  
189 Wisconsin State Statutes, and employers liability insurance.

190 3. **Minimum Limits of Insurance**

191 Contractor shall maintain limits no less than general liability: \$1,000,000  
192 combined single limit per occurrence for bodily injury, personal injury and  
193 property damage. A combination of primary and excess to meet this limit is  
194 acceptable. Automobile liability: \$1,000,000 combined single limit per  
195 accident for bodily injury and property damage. Workers’ compensation and



196 employers' liability: Workers' compensation limits as required by Wisconsin  
197 State Statutes and employer's liability limits of \$500,000 per accident.

198 4. Verification of Coverage

199 The Contractor shall furnish the VILLAGE with certificates of insurance as  
200 evidence of the required coverages. The certificates are to be on the form  
201 provided by the VILLAGE and must be received and approved by the  
202 VILLAGE before work commences. The VILLAGE reserves the right to  
203 require and the Contractor shall furnish complete, certified copies of all  
204 required insurance policies, at any time. The form of certificate is included in  
205 the Invitation for Bids for this project. The VILLAGE'S failure to notice or  
206 notify the Contractor of any coverage deficiencies that may be apparent in the  
207 documents submitted to the VILLAGE shall not relieve the Contractor of  
208 responsibility to provide coverages required in this contract.

209 12. DEVELOPER shall indemnify, save and hold harmless the VILLAGE, its  
210 officers, employees, agents and representatives, from and against any and all  
211 claims, demands, losses, liability, cost (including attorneys fees), or expense  
212 of any kind whatsoever (including any arising under any workers'  
213 compensation or other occupational disease law), which arise out of, are  
214 connected with, or are attributable to the activities undertaken by the  
215 DEVELOPER as provided herein, including such claims, demands, losses,  
216 liability, cost or expense which arise from the deposit, release or discharge by  
217 DEVELOPER or DEVELOPER'S officers, employees, agents,  
218 representatives or assigns of any hazardous substances, environmental  
219 pollution, or sources of environmental pollution, as a result of the project  
220 described herein.

221 13. The DEVELOPER understands and agrees that, except as may be otherwise  
222 expressly stated in this agreement, the improvements provided under the  
223 terms of this agreement will become public facilities and may be used as are  
224 similar public improvements constructed or installed by the VILLAGE itself.  
225 The public improvements provided under this agreement can be utilized, as  
226 may be permitted or required by the VILLAGE, by or on behalf of persons or  
227 entities other than the DEVELOPER without payment of consideration to the  
228 DEVELOPER, including the reimbursement of costs assumed under this

229 agreement by the DEVELOPER unless otherwise indicated in the special  
230 provisions.

231 14. The DEVELOPER, in consideration of the construction of said  
232 improvements hereby agrees that such improvements will benefit the  
233 subdivision and consents to the levying of special assessments against the  
234 subdivision under s.66.0825 of Wisconsin Statutes for the cost of such  
235 construction of the improvements. The DEVELOPER hereby waives all  
236 special assessment notices and hearing required by s.66.0825 of the  
237 Wisconsin Statutes. Special assessments will only be levied upon default on  
238 the part of the DEVELOPER to complete the improvements as provided in  
239 this agreement and the subsequent failure of the escrow to cause the  
240 improvements to be completed as provided in this agreement. If special  
241 assessments are levied, they shall be paid in one year and consist of a lien on  
242 the property.

243 15. DEVELOPER shall have sole responsibility for any and all taxes lawfully  
244 assessed against any property dedicated to the VILLAGE in the year of said  
245 dedication, and shall indemnify and hold harmless the VILLAGE against any  
246 claims for taxes due based on acceptance of said dedicated property.  
247 VILLAGE assumes no tax liability with its acceptance of property or rights  
248 in property dedicated as part of this AGREEMENT.

249 16. If for any legal reasons not within the control of the DEVELOPER or the  
250 VILLAGE the project cannot be completed, this agreement shall become  
251 void, only after all costs incurred by the VILLAGE have been paid by the  
252 DEVELOPER.

253 17. Additional provisions of this Agreement are stated on Exhibit "A", attached  
254 hereto, which is incorporated into and made a part of this Agreement by  
255 reference.

256 18. Any provision of this Agreement which is prohibited or unenforceable shall  
257 be ineffective to the extent of such prohibition or unenforceability without  
258 invalidating the remaining provisions of this Agreement.



259 19. All notices and other communications provided for under this Agreement  
260 shall be in writing (including facsimile communications) and mailed  
261 (certified), sent by facsimile or personally delivered:

262 If to Developer: Moski Corporation  
263 Attn: Paul Kosmoski  
264 1270 Main Street #101  
265 Green Bay, WI 54302  
266

267 With a copy to: Mau & Associates  
268 Attn: Tonya Wagner  
269 400 Security Boulevard  
270 Green Bay, WI 54313  
271

272 If to the Village: Village of Bellevue  
273 Attn: Administrator  
274 2828 Allouez Avenue  
275 Green Bay, WI 54311  
276

277 or, as to each party, at such other address as shall be designated by such party  
278 in a written notice to the other party in accordance herewith. Delivery of all  
279 such notices and communications shall be deemed complete: (i) if mailed,  
280 when deposited in the mails for certified mail, return receipt requested,  
281 postage prepaid, or (ii) if sent by facsimile, when confirmed as being  
282 received by the party to whom faxed or delivered, or (iii) when personally  
283 delivered.

284 20. Any party may record a memorandum of this Agreement for the purpose of  
285 providing notice of the existence of this Agreement.

286 21. This Agreement shall be binding upon and inure to the benefit of the parties,  
287 their respective heirs, successors, personal representatives and assigns.

288 22. It is understood by and between the parties that Wisconsin Law provides that  
289 any ambiguity in an agreement is to be construed against the drafter of the  
290 agreement. The undersigned parties do hereby agree that this particular  
291 provision in Wisconsin Law shall not apply to the Agreement. Instead, there

292 shall be no presumption involved should an arbitrator find that an ambiguity  
293 exists in this Agreement. Any ambiguity shall be interpreted without regard  
294 to the identity of the drafter of this Agreement.

295 23. In the event that a dispute arises concerning the construction or operation of  
296 this Agreement, any party to this Agreement may immediately petition to  
297 Branch I of the Brown County Circuit Court for the appointment of an  
298 Arbitrator to resolve said dispute. The Judge then presiding in Branch I of  
299 the Brown County Circuit Court shall appoint a member of the Brown  
300 County Bar Association to act as Arbitrator. Both sides shall be prepared,  
301 within thirty (30) days of the appointment of the Arbitrator, to present their  
302 case in the Arbitrator for resolution. The Arbitrator shall only be entitled to  
303 serve if he shall agree, in writing, to render a decision within fifteen (15) days  
304 of the Arbitration hearing. Furthermore, said Arbitrator must schedule an  
305 Arbitration hearing within forty-five (45) days from his or her appointment as  
306 an Arbitrator.

307 The parties agree that within thirty (30) days from the date the Arbitrator's  
308 decision is mailed to the parties, the non-prevailing party will pay to the  
309 prevailing party any amounts provided for by the Arbitrator in his or her  
310 decision. Any post-arbitration sums so ordered to be paid by a non-  
311 prevailing party to a prevailing party shall likewise be paid within thirty (30)  
312 days of the Arbitrator's decision. In the event said amount is not paid within  
313 thirty (30) days of said decision, then the decision of the Arbitrator can be  
314 immediately entered as a judgment against the non-prevailing party in Brown  
315 County Circuit Court. In so signing this Agreement, the parties consent to  
316 the immediate entry of such a judgment and waive any rights they have to  
317 contest the decision of the Arbitrator.

318 25. Transferring Ownership. The DEVELOPER shall own, operate and maintain  
319 all utilities and facilities within the platted area until such time as a formal  
320 written request has been made by the DEVEOPER to transfer ownership and  
321 approved by the VILLAGE. The VILLAGE will prepare a formal resolution



322 accepting the improvements for consideration by the respective policy  
323 Boards. Until said resolution is approved, the DEVELOPER is the owner  
324 and maintainer of all infrastructure.

325

326

327 **IN WITNESS WHEREOF**, the parties hereto have set their hands and seals as of the day and  
328 date first written above.

329 FOR: **(DEVELOPER)**

330  
331 By: \_\_\_\_\_

332  
333 Title: \_\_\_\_\_

334  
335 STATE OF WISCONSIN)

336 ) ss.

337 COUNTY OF BROWN)

338  
339 Personally came before me this \_\_\_\_\_ date of \_\_\_\_\_, 20\_\_\_\_, the above  
340 named \_\_\_\_\_, to me known to the persons who  
341 executed the foregoing instrument and acknowledged the same.

342  
343 \_\_\_\_\_  
344 Notary Public  
345  
346 \_\_\_\_\_ County, \_\_\_\_\_

347 My commission expires \_\_\_\_\_

348  
349  
350 FOR: **VILLAGE OF BELLEVUE**

351  
352  
353 By: \_\_\_\_\_

354  
355 Diane Wessel, VILLAGE Administrator

356  
357 By: \_\_\_\_\_  
358 Karen Simons, VILLAGE Clerk

359



360 STATE OF WISCONSIN)

361 ) ss.

362 COUNTY OF BROWN)

363

364 Personally came before me this \_\_\_\_\_ date of \_\_\_\_\_, 20\_\_\_\_\_, the above  
365 named Diane Wessel and Karen Simons, to me known to the persons who executed the foregoing  
366 instrument and acknowledged the same.

367

368

369

370

\_\_\_\_\_  
Notary Public

371

372

Brown County, Wisconsin

373

374

My commission expires \_\_\_\_\_

375

376

377

378

379

380 ACKNOWLEDGEMENT: (DEVELOPER’S Engineer)

381

\_\_\_\_\_

382

383 By \_\_\_\_\_

384

385 Title \_\_\_\_\_

386





419 **(2) SCOPE OF WORK**

420 Completed under the terms of this agreement and covered by the financial guarantee.

421

422 A. The DEVELOPER shall provide all site grading, water systems, storm drainage facilities,  
423 sanitary sewers, street improvements, and other miscellaneous work in conformance with  
424 VILLAGE standards and approved plans and specifications, more specifically described as  
425 follows. Prior to starting any construction of any building and utilities outside of the area  
426 named below, all improvements shall be constructed and accepted by the Village for those  
427 improvements listed in this agreement.

428

429 **Willow Grove First Addition**

430

- 431 1. Grading
- 432 2. Sanitary Sewer and Services
- 433 3. Water Main and Services
- 434 4. Storm Sewer, Appurtenances, and Stormwater Drainage Facilities
- 435 5. Roadway Base Course
- 436 6. Concrete Curb and Gutter
- 437 7. Bituminous Paving
- 438 8. Restoration
- 439 9. Erosion Control

440

441 B. The DEVELOPER shall pay to the VILLAGE the proportionate share of costs attributable to  
442 the subdivision for improvements constructed by the VILLAGE, more specifically described  
443 as:

444

- 445 1. Inspection by VILLAGE staff
- 446 2. Traffic Regulation Signs
- 447 3. Street Name Signs
- 448 4. Overhead Street Lighting (Street light by WPS at intersection of Willow Road and  
449 Kosmoski Way and intersection of Evening Star Drive and Kosmoski Way)

450

451 C. The VILLAGE shall pay to the DEVELOPER, upon completion and acceptance, the  
452 proportionate share of costs attributable to the VILLAGE for improvements constructed by  
453 the DEVELOPER, more specifically described as:

454

455 None

456

457 VILLAGE to reimburse DEVELOPER upon completion and acceptance of the work.  
458 DEVELOPER shall complete the work. The scope of work and prices shall be approved by  
459 the VILLAGE prior to commencing work.

460

461 D. The DEVELOPER shall dedicate the following easements and rights-of-way to the  
462 VILLAGE for public use:

463

464 1. Those areas indicated on the Final Plat of Willow Grove First Addition  
465

466 DEVELOPER shall have sole responsibility for any and all taxes lawfully assessed  
467 against any property dedicated to the VILLAGE in the year of said dedication, and  
468 shall indemnify and hold harmless the VILLAGE against any claims for taxes due  
469 based on acceptance of said dedicated property. VILLAGE assumes no tax liability  
470 with its acceptance of property or rights in property dedicated as part of this  
471 AGREEMENT.  
472

473 E. The DEVELOPER shall assure that iron monuments are placed at all lot and block corners,  
474 and at all angle points on the boundary lines. Iron monuments shall be in place after all  
475 street and lawn grading has been completed in order to preserve the lot markers for future  
476 property owners.

477 F. The DEVELOPER shall be responsible for all street maintenance until streets are accepted  
478 by the VILLAGE. Warning signs shall be placed when hazards develop in streets to prevent  
479 travel by the public. If and when streets become impassable, such streets shall be barricaded  
480 and closed. The DEVELOPER shall be responsible for keeping streets within and outside  
481 the subdivision swept clean of dirt and debris that may spill or wash onto the streets from the  
482 construction operations. The DEVELOPER may request, in writing, that the VILLAGE  
483 keep the streets open during winter months by plowing snow prior to final acceptance of said  
484 streets. The VILLAGE shall not be responsible for reshaping any damage caused by  
485 snowplow operations. Snow plowing services do not constitute final acceptance of the  
486 streets.

487 G. The DEVELOPER shall submit an erosion and sediment control plan as part of the  
488 construction plan set. The Developer shall also submit a Construction Project Permit  
489 Application – Storm Water Notice of Intent (NOI) to the Wisconsin Department of Natural  
490 Resources. The DEVELOPER shall be responsible for maintaining this plan and to assure  
491 compliance with said plans, and to provide for the cleaning of storm sewers, ditches, ponds,  
492 etc., necessitated by erosion from the subdivision. The DEVELOPER’S guarantee will cover  
493 all required maintenance costs. The DEVELOPER shall be responsible to maintain erosion  
494 control measures until all work identified in this development agreement has been  
495 completed. The DEVELOPER shall remove all sediments attributed to this development that  
496 accumulate in downstream drainage facilities prior to the final release of the Letter of Credit.  
497 Sediments attributed to this development will include sediment generated from building  
498 sites within and adjacent to the development that the DEVELOPER releases for clearing and  
499 construction, prior to the completion of the work identified in this development agreement.

500 H. The DEVELOPER’S contractor shall televise all sanitary & storm sewer upon completion of  
501 the contract and supply the VILLAGE with the video. The DEVELOPER may contract with  
502 the VILLAGE for completing the required closed-circuit television inspection with the cost  
503 paid for by the DEVELOPER. It is suggested that the televising be done prior to placing the  
504 final lift of asphalt in case sections needing corrective action are discovered.



- 505 I. The following miscellaneous special conditions are attached to this agreement:
- 506 1. The DEVELOPER shall be responsible for requests for underground utility locates for  
507 work covered under this Development Agreement until the VILLAGE receives the as-  
508 built for the completed work. The DEVELOPER shall notify local private utilities and  
509 direct them to contact the DEVELOPER for utility locates within the actual work limits  
510 of the Development Agreement. The VILLAGE will continue to be responsible for  
511 locating VILLAGE utilities that were accepted by the VILLAGE prior to the  
512 Development Agreement and were not modified by the development agreement. The  
513 local private utilities include cable television, electric, gas, telephone, and other local  
514 communications companies.
- 515 2. All construction except for the final surface layer of asphalt, must be completed within  
516 two (2) years from the approval of the development agreement, or the start of  
517 construction, whichever is later.
- 518 3. The final surface layer of asphalt (1¼ inch typical) for the development shall be  
519 installed no earlier than the fall of the year following substantial completion of  
520 infrastructure improvements, and as determined by the VILLAGE. A certified check  
521 shall be issued to the Village to draw upon for the final surface layer of asphalt,  
522 inspections, asphalt testing, and for erosion control, restoration, and utility adjustments  
523 that may be necessary. The certified check for final paving and associated items shall be  
524 deposited in a Village account for the estimated construction amount plus 10%. In the  
525 event the cost to complete the project is more than estimated, the developer shall pay the  
526 balance of the cost within 30 days of completion and acceptance. In the event the actual  
527 construction is less than the estimated amount, the difference will be refunded to the  
528 DEVELOPER.
- 529 4. The developer shall cause all drainage ways to be constructed during the subdivision  
530 grading process. Lot grades shall be generally graded to match into established  
531 drainage according to approved grading plan for the subdivision. Established  
532 drainageways shall be fenced at the completion of the subdivision grading and not be  
533 disturbed throughout the home construction process. Upon completion of the home  
534 construction, it will be verified that the construction had no impact on the established  
535 drainage way. Any disturbance of the established drainage way will be remedied by the  
536 home contractor prior to the occupancy permit being issued unless the remedy cannot  
537 occur in a timely manner due to weather.
- 538 5. All water service boxes, curb stop boxes, tracer wire boxes, and sanitary cleanouts shall  
539 be installed at requested parameters per the VILLAGE. The VILLAGE Director of  
540 Public Works or designee will inspect these items at the time of initial construction. If  
541 required adjustments are found at this time, the VILLAGE may adjust utility service  
542 boxes and draw from the letter of credit or final certified check payment. At the time of  
543 sale of each individual lot, the responsibility of final utility service adjustments will  
544 transfer to the new owner and builder of the lot.

545 (3) ESTIMATE OF COST & COMPUTATION OF FINANCIAL GUARANTEE  
 546  
 547 ESTIMATED CONSTRUCTION COST: (see Attached BID TABS)  
 548  
 549

**K-16805 Willow Grove First Addition**  
**Cost Estimate**  
**Date: 2/8/21**

Staking & As-built Survey (estimate)	\$ 10,075.00
Inspections Utility (REL)	\$ 25,500.00
Inspections Roadwork (REL)	\$ 15,500.00
Geotechnical Testing (estimate from previous phase)	\$ 5,000.00
Platting (actual)	\$ 10,625.00
Engineering (actual)	\$ 46,394.38
Construction Administration (estimage 3% of Construction)	\$ 21,618.60
Gas & Electric (estimate \$3,000/lot)	\$ 63,000.00
Construction	\$ 720,620.13
Sub-Total	\$ 918,333.11
Contingency 10%	\$ 91,833.31
Total	\$1,010,166.43
Number of Lots	21
Cost per Lot	\$ 48,103.16

550  
 551  
 552  
 553



**REPORT ON PROPOSED SPECIAL ASSESSMENTS FOR PUBLIC  
IMPROVEMENTS  
AGAINST PROPERTIES LOCATED IN THE VILLAGE OF BELLEVUE, WISCONSIN**

**Guns Street (Verlin Road to Village Limits)  
Moonrise Court (Guns Street to Cul de Sac)**

This report is submitted in accordance with the requirements of §66.0703, Stats., and the preliminary resolution of the municipal governing body of the Village of Bellevue, Wisconsin, dated February 10, 2021, determining to levy special assessments on benefited properties for public improvements described in Schedule B of this report to be made in the assessment district described in Schedule C of this report.

This report consists of the following schedules attached hereto:

- Schedule A – Preliminary plans and specifications;
- Schedule B – Estimate of entire cost of proposed improvements;
- Schedule C – Schedule of proposed assessments against each benefited parcel.

Respectfully Submitted,  
Diane Wessel, Administrator

**DRAFT**  
3-5-21

A copy of this report was filed with the Clerk of the Village of Bellevue on March , 2021.

ACKNOWLEDGED:

---

Karen M. Simons  
Village Clerk

**SCHEDULE A**  
**Preliminary Plans and Specifications**

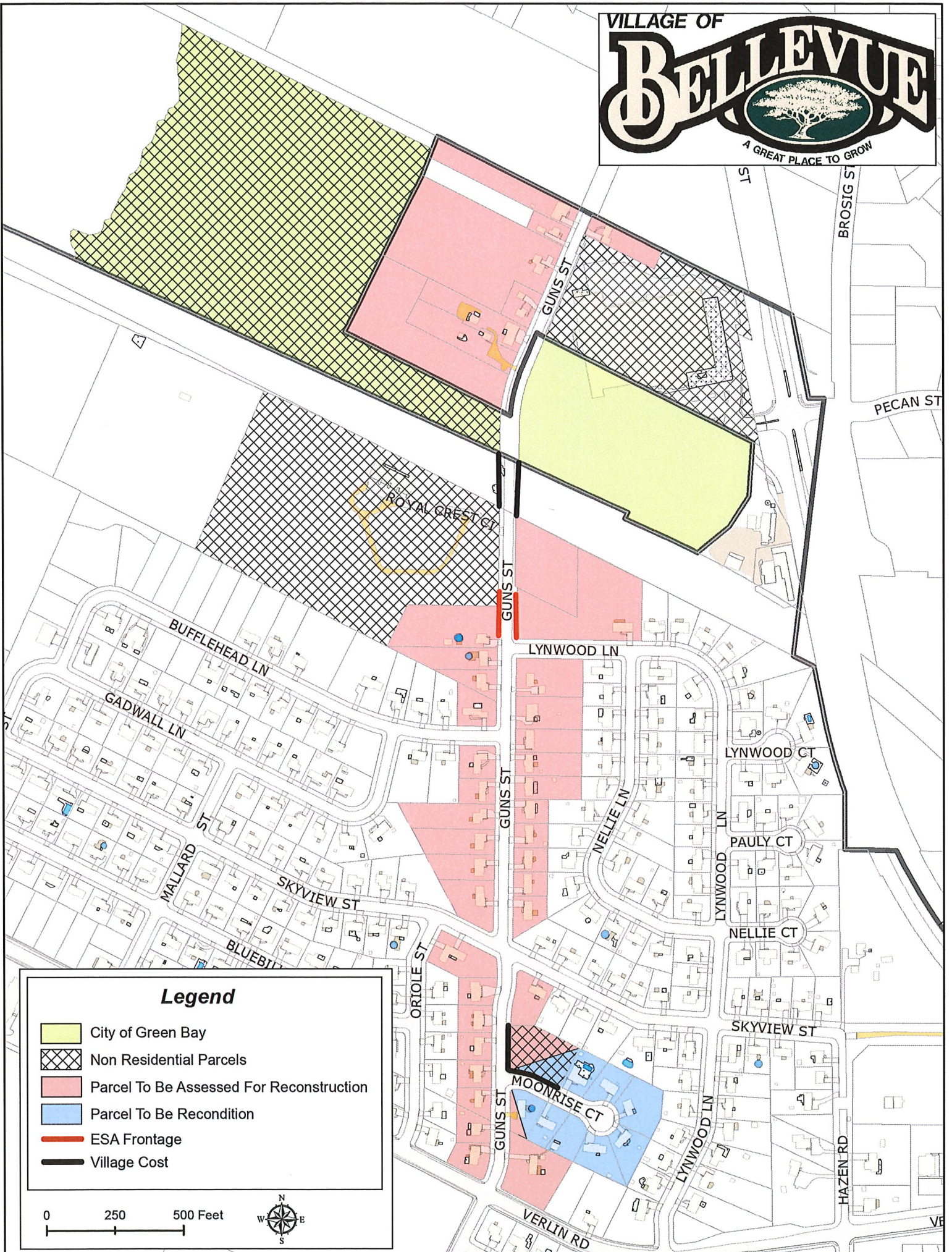
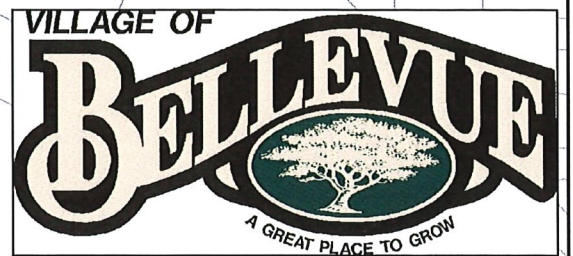
**Guns Street (Verlin Road to Village Limits)**  
**Moonrise Court (Guns Street to Cul de Sac)**

Installation of public improvements (street reconstruction and other street repairs: curbs, culvert, manhole adjustments, storm sewer, sanitary sewer, water main, etc.) work will be bid as part of the Village of Bellevue work. Preliminary plans and specifications for this project are available for review at the Village Offices, 2828 Allouez Avenue, during normal office hours.

Questions regarding the project plans may be directed to Thad Majkowski, P.E., interim Director of Public Works at (920) 785-7302.

2021 Guns Street District Map





**Legend**

-  City of Green Bay
-  Non Residential Parcels
-  Parcel To Be Assessed For Reconstruction
-  Parcel To Be Recondition
-  ESA Frontage
-  Village Cost

0 250 500 Feet





**SCHEDULE B**  
**Estimate of Entire Cost of Proposed Improvements**

**Guns Street (Verlin Road to Village Limits)**  
**Moonrise Court (Guns Street to Cul de Sac)**

The estimated total construction cost of improving the following named streets and portions thereof in accordance with the plans and specifications in Schedule A is \$1,683,110.30 of which \$606,755.40 (residential and commercial) is assessable for **street construction, curb and gutter repairs, and storm sewer repairs.**

The cost is determined as follows: See attached spreadsheet





**COST SUMMARY**  
**GUNS STREET RECONSTRUCTION,**  
**CONTRACT A-21**  
**VILLAGE OF BELLEVUE, BROWN, WI**

3/4/2021

PROJECT NAME: Guns Street Reconstruction				Triple P. Inc. dba Peters Concrete Co. 1516 Adkinson Drive Green Bay, WI 54303		SANITARY SEWER - VILLAGE COST		WATER SYSTEM - VILLAGE COST		STORM SEWER - REPAIRS - VILLAGE COST		ROAD - ASSESSABLE GUNS ST		ROAD - ASSESSABLE MOONRISE CT		SIDEWALK - VILLAGE COST		STORM LATERALS - ASSESSABLE	
PROJECT NO: Contract A-21																			
ITEM NO.	ITEM DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL
<b>SCHEDULE A - SANITARY SEWER:</b>																			
A-1	ABANDON SANITARY SEWER LATERAL	EA.	1	\$500.00	\$500.00	1.00	\$500.00												
A-2	REMOVE SANITARY MANHOLE #96	EA.	1	\$500.00	\$500.00	1.00	\$500.00												
A-3	SANITARY SEWER, PVC, 8"	L.F.	520	\$123.00	\$63,960.00	520.00	\$63,960.00												
A-4	SANITARY SEWER LATERAL/RISER, PVC, 4" or 6"	L.F.	35	\$100.00	\$3,500.00	35.00	\$3,500.00												
A-5	SANITARY MANHOLE, 4' DIA.	V.F.	8.8	\$491.00	\$4,320.80	8.80	\$4,320.80												
A-6	PIPE FOUNDATION, AS ORDERED	C.Y.	50	\$30.00	\$1,500.00	50.00	\$1,500.00												
A-7	CURED IN PLACE PIPE LINING, 8"	L.F.	3,020	\$25.50	\$77,010.00	3,020.00	\$77,010.00												
A-8	SANITARY SEWER SERVICE WYE, 8" X 4" OR 8" X 6"	EA.	4	\$150.00	\$600.00	4.00	\$600.00												
A-9	SERVICE RECONNECTIONS, CIPP AREA, INCLUDE CHEMICAL GROUT OF CONNECTION	EA.	24	\$350.00	\$8,400.00	24.00	\$8,400.00												
A-10	CONNECT TO EXISTING SANITARY MANHOLE	EA.	4	\$1,100.00	\$4,400.00	4.00	\$4,400.00												
A-11	CONNECT TO EXISTING SANITARY SEWER	EA.	10	\$250.00	\$2,500.00	10.00	\$2,500.00												
A-12	ADJUST EXISTING STRUCTURE, 0" - 6" OF RINGS	EA.	10	\$725.00	\$7,250.00	10.00	\$7,250.00												
A-13	LOW PROFILE CASTING AND COVER	EA.	1	\$750.00	\$750.00	1.00	\$750.00												
A-14	RECONSTRUCT EXISTING STRUCTURE, WITH NEW 12" RISER SECTION, MANHOLES #103 AND #104.	EA.	2	\$1,500.00	\$3,000.00	2.00	\$3,000.00												
A-15	TELEVISION	L.F.	520	\$2.80	\$1,456.00	520.00	\$1,456.00												
A-16	TRACER WIRE SIGNAL CONNECTION BOX	EA.	1	\$100.00	\$100.00	1.00	\$100.00												
A-17	ALLOWANCES				\$1,500.00		\$1,500.00												
	<b>SUBTOTAL SCHEDULE A - SANITARY SEWER:</b>				\$181,246.80		\$181,246.80												
<b>SCHEDULE B - WATER MAIN:</b>																			
B-1	PIPE ABANDONMENT / REMOVAL	L.S.	1	\$2,000.00	\$2,000.00			1.00	\$2,000.00										
B-2	ABANDON VALVE	EA.	13	\$100.00	\$1,300.00			13.00	\$1,300.00										
B-3	REMOVE VALVE	EA.	1	\$500.00	\$500.00			1.00	\$500.00										
B-4	REMOVE AND SALVAGE HYDRANT	EA.	5	\$400.00	\$2,000.00			5.00	\$2,000.00										
B-5	FOUNDATION, AS ORDERED	C.Y.	50	\$25.00	\$1,250.00			50.00	\$1,250.00										
B-6	DIG DOWNS	EA.	12	\$1,550.00	\$18,600.00			12.00	\$18,600.00										
B-7	REPLACE NUTS/BOLTS ON EXISTING VALVE/TEE, AS ORDERED	BOLTS	168	\$7.00	\$1,176.00			168.00	\$1,176.00										
B-8	WATER MAIN, PVC 6"	L.F.	165	\$85.70	\$14,140.50			165.00	\$14,140.50										
B-9	WATER MAIN, PVC 8"	L.F.	130	\$93.70	\$12,181.00			130.00	\$12,181.00										
B-10	WATER MAIN, PVC 10"	L.F.	2,375	\$76.40	\$181,450.00			2,375.00	\$181,450.00										
B-11	WATER MAIN, PVC 12"	L.F.	150	\$134.60	\$20,190.00			150.00	\$20,190.00										
B-12	WATER SERVICE, OPEN CUT HDPE, 1 1/4"	L.F.	1,000	\$53.55	\$53,550.00			1,000.00	\$53,550.00										
B-13	WATER SERVICE, OPEN CUT HDPE, 2"	L.F.	45	\$60.00	\$2,700.00			45.00	\$2,700.00										
B-14	WATER SERVICE, DIRECTIONAL DRILL HDPE, 2" AT MOONRISE PARK	L.F.	75	\$35.00	\$2,625.00			75.00	\$2,625.00										
B-15	BORE AND JACK STEEL CASING PIPE, MINIMUM 20", INCLUDING 10" CARRIER PIPE	L.F.	90	\$565.00	\$50,850.00			90.00	\$50,850.00										
B-16	6.5' BURY HYDRANT	EA.	2	\$4,000.00	\$8,000.00			2.00	\$8,000.00										
B-17	7.5' BURY HYDRANT	EA.	3	\$4,200.00	\$12,600.00			3.00	\$12,600.00										
B-18	8.0' BURY HYDRANT	EA.	1	\$4,650.00	\$4,650.00			1.00	\$4,650.00										
B-19	8.5' BURY HYDRANT	EA.	1	\$4,800.00	\$4,800.00			1.00	\$4,800.00										
B-20	RELOCATE EXISTING FIRE HYDRANT	EA.	3	\$1,000.00	\$3,000.00			3.00	\$3,000.00										
B-21	CONTROL VALVE AND BOX, GATE 6"	EA.	10	\$1,400.00	\$14,000.00			10.00	\$14,000.00										
B-22	CONTROL VALVE AND BOX, GATE 8"	EA.	3	\$1,950.00	\$5,850.00			3.00	\$5,850.00										
B-23	CONTROL VALVE AND BOX, GATE 10"	EA.	10	\$2,600.00	\$26,000.00			10.00	\$26,000.00										
B-24	CONTROL VALVE AND BOX, GATE 12"	EA.	2	\$3,250.00	\$6,500.00			2.00	\$6,500.00										
B-25	WATER SERVICE CORPORATION & SELF DRAINING CURB VALVES, 2"	EA.	1	\$1,000.00	\$1,000.00			1.00	\$1,000.00										
B-26	WATER SERVICE CORPORATION & CURB VALVES, 1 1/4"	EA.	29	\$500.00	\$14,500.00			29.00	\$14,500.00										
B-27	WATER METER SETUP	L.S.	1	\$2,100.00	\$2,100.00			1.00	\$2,100.00										
B-28	WATER CABINET	L.S.	1	\$1,500.00	\$1,500.00			1.00	\$1,500.00										
B-29	6" HYDRANT EXTENSION, AS ORDERED	EA.	1	\$750.00	\$750.00			1.00	\$750.00										
B-30	12" HYDRANT EXTENSION, AS ORDERED	EA.	1	\$950.00	\$950.00			1.00	\$950.00										
B-31	12" HYDRANT EXTENSION, SALVAGE AND REUSE	EA.	1	\$300.00	\$300.00			1.00	\$300.00										
B-32	CONNECT TO EXISTING WATER MAIN, 6" OR LARGER	EA.	11	\$950.00	\$10,450.00			11.00	\$10,450.00										
B-33	INSULATION, AS ORDERED	S.F.	400	\$2.50	\$1,000.00			400.00	\$1,000.00										
B-34	TRACER WIRE SIGNAL CONNECTION BOX	EA.	40	\$75.00	\$3,000.00			40.00	\$3,000.00										
B-35	ALLOWANCES				\$2,500.00				\$2,500.00										
	<b>SUBTOTAL SCHEDULE B - WATER MAIN:</b>				\$487,962.50				\$487,962.50										
<b>SCHEDULE C - STORM SEWER:</b>																			



PROJECT NAME: Guns Street Reconstruction				Triple P. Inc. dba Peters Concrete Co. 1516 Atkinson Drive Green Bay, WI 54303		SANITARY SEWER - VILLAGE COST		WATER SYSTEM - VILLAGE COST		STORM SEWER - REPAIRS - VILLAGE COST		ROAD - ASSESSABLE GUNS ST		ROAD - ASSESSABLE MOONRISE CT		SIDEWALK - VILLAGE COST		STORM LATERALS - ASSESSABLE	
PROJECT NO: Contract A-21																			
ITEM NO.	ITEM DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL
C-1	REMOVE CATCH BASIN	EA.	1	\$300.00	\$300.00						\$0.00					1.00	\$300.00		
C-2	CLEARING AND GRUBBING	L.S.	1	\$1,000.00	\$1,000.00					0.75	\$750.00					0.25	\$250.00		
C-3	STORM SEWER, 8" PVC	L.F.	140	\$79.25	\$11,095.00						\$0.00					140.00	\$11,095.00		
C-4	STORM SEWER, 12" PVC	L.F.	10	\$155.00	\$1,550.00					0.00	\$0.00					10.00	\$1,550.00		
C-5	STORM SEWER LATERAL, 4" PVC	L.F.	25	\$50.00	\$1,250.00						\$0.00							25.00	\$1,250.00
C-6	STORM SEWER MINI STORM, 4" PVC	L.F.	135	\$30.00	\$4,050.00					135.00	\$4,050.00								
C-7	CLEANOUT	EA.	1	\$250.00	\$250.00					1.00	\$250.00								
C-8	CULVERT, 23" X 14" RCP	L.F.	40	\$114.00	\$4,560.00					40.00	\$4,560.00								
C-9	CULVERT, 66" RCP	L.F.	240	\$244.00	\$58,560.00					240.00	\$58,560.00								
C-10	APRON ENDWALL, 23" X 14" RCP	EA.	2	\$1,000.00	\$2,000.00					2.00	\$2,000.00								
C-11	APRON ENDWALL, 66" RCP	EA.	4	\$3,950.00	\$15,800.00					4.00	\$15,800.00								
C-12	RIP RAP FOR 66" RCP CULVERTS	S.Y.	80	\$35.00	\$2,800.00					80.00	\$2,800.00								
C-13	2' X 3' STORM CATCH BASIN - TYPE A	EA.	3	\$2,000.00	\$6,000.00					2.00	\$4,000.00					1.00	\$2,000.00		
C-14	ADJUST EXISTING CATCH BASIN , 0" - 6" OF RINGS	EA.	11	\$400.00	\$4,400.00					9.00	\$3,600.00			2.00	\$800.00				
C-15	RECONSTRUCT STM MH 102, REMOVE 12" RISER SECTION	EA.	1	\$1,000.00	\$1,000.00					1.00	\$1,000.00								
C-16	PVC YARD DRAIN	EA.	3	\$1,000.00	\$3,000.00						\$0.00					3.00	\$3,000.00		
C-17	CORE DRILL AND CONNECT TO EXISTING STORM SEWER STRUCTURE	EA.	1	\$250.00	\$250.00					1.00	\$250.00								
C-18	CONNECT TO EXISTING STORM SEWER WITH SADDLE	EA.	4	\$450.00	\$1,800.00						\$0.00					2.00	\$900.00	3.00	\$1,350.00
C-19	ALLOWANCES				\$500.00						\$300.00						\$100.00		
	<b>SUBTOTAL SCHEDULE C - STORM SEWER:</b>				\$120,165.00				\$0.00		\$97,920.00		\$0.00		\$800.00		\$19,195.00		\$2,700.00
<b>SCHEDULE D - SITE WORK:</b>																			
D-1	MOBILIZATION	L.S.	1	\$5,000.00	\$5,000.00	0.10	\$500.00	0.20	\$1,000.00	0.10	\$500.00	0.38	\$1,900.00	0.10	\$500.00	0.10	\$500.00	0.02	\$100.00
D-2	SAWCUT	L.F.	1,100	\$2.50	\$2,750.00		\$0.00					240.00	\$600.00		\$0.00	860.00	\$2,150.00		
D-3	PULVERIZE EXISTING PVMT. IN FULL EXCAVATION AREA (EST. 17,600 S.Y.)	L.S.	1	\$8,650.00	\$8,650.00		\$0.00					1.00	\$8,650.00		\$0.00		\$0.00		
D-4	REMOVE ASPHALT MOONRISE, 3.5" MILLING (EST 2,000 SY)	L.S.	1	\$5,680.00	\$5,680.00		\$0.00						\$0.00	1.00	\$5,680.00		\$0.00		
D-5	REMOVE CONCRETE SIDEWALK, RAMPS, DRIVEWAYS	S.Y.	725	\$5.50	\$3,987.50		\$0.00						\$0.00		\$0.00	725.00	\$3,987.50		
D-6	STRIP TOPSOIL	L.S.	1	\$1.00	\$1.00		\$0.00					0.20	\$0.20		\$0.00	0.80	\$0.80		
D-7	REMOVE TREES	DIA.	50	\$40.00	\$2,000.00		\$0.00						\$0.00		\$0.00	50.00	\$2,000.00		
D-8	COMMON EXCAVATION, ROAD, 21.5" (EST 10,500 CY)	L.S.	1	\$82,425.00	\$82,425.00		\$0.00					1.00	\$82,425.00		\$0.00		\$0.00		
D-9	COMMON EXCAVATION, SIDEWALK/DRIVEWAY (EST 1,200 CY)	L.S.	1	\$34,615.00	\$34,615.00		\$0.00						\$0.00		\$0.00	1.00	\$34,615.00		
D-10	COMMON EXCAVATION, MOONRISE COURT PATCHING, 15"	C.Y.	150	\$35.00	\$5,250.00		\$0.00						\$0.00	150.00	\$5,250.00		\$0.00		
D-11	EXCAVATION BELOW SUBGRADE, AS ORDERED	C.Y.	1,500	\$29.00	\$43,500.00		\$0.00					1,500.00	\$43,500.00		\$0.00		\$0.00		
D-12	GEOGRID, SUBGRADE REINFORCEMENT, AS ORDERED	S.Y.	8,500	\$1.35	\$11,475.00		\$0.00					8,500.00	\$11,475.00		\$0.00		\$0.00		
D-13	GEOTEXTILE FABRIC, TYPE SAS, AS ORDERED	S.Y.	8,500	\$1.35	\$11,475.00		\$0.00					8,500.00	\$11,475.00		\$0.00		\$0.00		
D-14	CRUSHED AGGREGATE BASECOURSE, ROAD/CURB AND GUTTER	C.Y.	11,000	\$7.00	\$77,000.00	1.00	\$7.00	40.00	\$280.00			10,959.00	\$76,713.00		\$0.00		\$0.00		
D-15	CRUSHED AGGREGATE BASECOURSE, SIDEWALK/DRIVEWAY	C.Y.	375	\$32.00	\$12,000.00		\$0.00						\$0.00		\$0.00	375.00	\$12,000.00		
D-16	CRUSHED AGGREGATE BASECOURSE, MOONRISE COURT PATCHING	C.Y.	150	\$1.00	\$150.00		\$0.00						\$0.00	150.00	\$150.00		\$0.00		
D-17	CRUSHED AGGREGATE BASECOURSE, MOONRISE COURT FINE GRADING	C.Y.	60	\$25.00	\$1,500.00		\$0.00						\$0.00	60.00	\$1,500.00		\$0.00		
D-18	HMA, BINDER, 1-3/4", (4 LT 58-28 S)	S.Y.	2,650	\$6.75	\$17,887.50		\$0.00					650.00	\$4,387.50	2,000.00	\$13,500.00		\$0.00		
D-19	HMA, BINDER, 2", (4 LT 58-28 S)	S.Y.	13,300	\$16.83	\$223,839.00		\$0.00					13,290.00	\$223,670.70		\$0.00	10.00	\$168.30		
D-20	HMA, SURFACE, 1-1/4", (5 LT 58-28 S)	S.Y.	2,650	\$5.40	\$14,310.00		\$0.00					650.00	\$3,510.00	2,000.00	\$10,800.00		\$0.00		
D-21	HMA, SURFACE, 1-1/2", (5 LT 58-28 S)	S.Y.	13,300	\$5.70	\$75,810.00		\$0.00					13,290.00	\$75,753.00		\$0.00	10.00	\$57.00		
D-22	HMA, DRIVEWAYS AND SIDEWALK TO RAILROAD, 2" (5 LT 58-28 S)	S.Y.	75	\$36.00	\$2,700.00		\$0.00					0.00	\$0.00		\$0.00	75.00	\$2,700.00		
D-23	PAVEMENT MARKING, YELLOW DOUBLE CENTERLINE, 4" EPOXY	L.F.	3,500	\$1.20	\$4,200.00		\$0.00					3,500.00	\$4,200.00		\$0.00		\$0.00		
D-24	PAVEMENT MARKING, WHITE EDGELINE, 4" EPOXY	L.F.	7,200	\$0.60	\$4,320.00		\$0.00					7,200.00	\$4,320.00		\$0.00		\$0.00		
D-25	PAVEMENT MARKING, WHITE STOP LINE, 12" EPOXY	L.F.	200	\$12.00	\$2,400.00		\$0.00					200.00	\$2,400.00		\$0.00		\$0.00		
D-26	PAVEMENT MARKING, WHITE CROSSWALK, 6" EPOXY	L.F.	550	\$11.00	\$6,050.00		\$0.00						\$0.00		\$0.00	550.00	\$6,050.00		
D-27	PAVEMENT MARKING, WHITE RAILROAD CROSSING SYMBOL, EPOXY	EA.	2	\$975.00	\$1,950.00		\$0.00					2.00	\$1,950.00		\$0.00		\$0.00		
D-28	PAVEMENT MARKING, WHITE RAILROAD CROSSING STOP BAR, 24" EPOXY	L.F.	70	\$12.50	\$875.00		\$0.00					70.00	\$875.00		\$0.00		\$0.00		
D-29	REMOVE PAVEMENT MARKINGS	L.F.	165	\$5.00	\$825.00		\$0.00					165.00	\$825.00		\$0.00		\$0.00		
D-30	CONCRETE SIDEWALK, 4"	S.F.	11,500	\$4.20	\$48,300.00		\$0.00						\$0.00		\$0.00	11,500.00	\$48,300.00		
D-31	CONCRETE CURB RAMP/DRIVEWAY 6"	S.F.	6,500	\$5.00	\$32,500.00		\$0.00						\$0.00		\$0.00	6,500.00	\$32,500.00		
D-32	DETECTABLE WARNING FIELD	S.F.	120	\$30.00	\$3,600.00		\$0.00						\$0.00		\$0.00	120.00	\$3,600.00		
D-33	VERLIN ROAD CROSSING SIGNAGE	L.S.	1	\$15,945.00	\$15,945.00		\$0.00						\$0.00		\$0.00	1.00	\$15,945.00		
D-34	REMOVE AND REPLACE MISC. CONCRETE CURB AND GUTTER, 30", UNREINFORCED, AS ORDERED	L.F.	65	\$40.00	\$2,600.00		\$0.00						\$0.00		\$0.00	65.00	\$2,600.00		
D-35	REMOVE AND REPLACE MISC. CONCRETE CURB AND GUTTER, 30", REINFORCED, AS ORDERED	L.F.	10	\$40.00	\$400.00		\$0.00						\$0.00		\$0.00	10.00	\$400.00		
D-36	REMOVE AND REPLACE MISC. CONCRETE CURB AND GUTTER, 24", UNREINFORCED, AS ORDERED	L.F.	1,625	\$26.00	\$42,250.00		\$0.00			380.00		1,165.00	\$30,290.00	40.00	\$1,040.00	40.00	\$1,040.00		
D-37	REMOVE AND REPLACE MISC. CONCRETE CURB AND GUTTER, 24", REINFORCED, AS ORDERED	L.F.	575	\$26.00	\$14,950.00	10.00	\$260.00	505.00	\$13,130.00			40.00	\$1,040.00	10.00	\$260.00	10.00	\$260.00		
D-38	INLET PROTECTION, TYPE C	EA.	16	\$56.00	\$896.00		\$0.00					16.00	\$896.00		\$0.00		\$0.00		
D-39	INLET PROTECTION, TYPE D, AS ORDERED	EA.	16	\$125.00	\$2,000.00		\$0.00					16.00	\$2,000.00		\$0.00		\$0.00		
D-40	ROCK BAGS	EA.	30	\$16.00	\$480.00		\$0.00					30.00	\$480.00		\$0.00		\$0.00		
D-41	SILT FENCE	L.F.	300	\$3.00	\$900.00		\$0.00			200.00	\$600.00	100.00	\$300.00		\$0.00		\$0.00		
D-42	EROSION MAT	S.Y.	400	\$2.10	\$840.00		\$0.00			300.00	\$630.00	100.00	\$210.00		\$0.00		\$0.00		



PROJECT NAME: Guns Street Reconstruction				Triple P, Inc. dba Peters Concrete Co. 1516 Adkinson Drive Green Bay, WI 54303		SANITARY SEWER - VILLAGE COST		WATER SYSTEM - VILLAGE COST		STORM SEWER - REPAIRS - VILLAGE COST		ROAD - ASSESSABLE GUNS ST		ROAD - ASSESSABLE MOONRISE CT		SIDEWALK - VILLAGE COST		STORM LATERALS - ASSESSABLE	
PROJECT NO: Contract A-21																			
ITEM NO.	ITEM DESCRIPTION	UNIT	QTY	UNIT PRICE	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL	QTY	TOTAL
D-43	RESTORATION, TOPSOIL, SEED, MULCH, FERTILIZE (EST. 4,000 SY)	L.S.	1	\$34,600.00	\$34,600.00	0.01	\$346.00	0.10	\$3,460.00	0.10	\$3,460.00	0.10	\$3,460.00	0.01	\$346.00	0.67	\$23,182.00	0.01	\$346.00
D-44	TRAFFIC CONTROL	L.S.	1	\$5,000.00	\$5,000.00	0.10	\$500.00	0.10	\$500.00	0.10	\$500.00	0.35	\$1,750.00	0.10	\$500.00	0.20	\$1,000.00	0.05	\$250.00
D-45	ALLOWANCES				\$17,200.00		\$0.00		\$4,000.00				\$7,700.00		\$500.00		\$5,000.00		
D-46	COMPOSITE SIDEWALK CROSSING PANEL, 8'	L.S.	1	\$8,650.00	\$8,650.00		\$0.00								\$0.00	1.00	\$8,650.00		
	<b>SUBTOTAL SCHEDULE D - SITE WORK:</b>				\$893,736.00		\$1,613.00		\$22,370.00		\$5,690.00		\$606,755.40		\$40,026.00		\$206,705.60		\$696.00
<b>SUMMARY - SUBTOTALS (BASE BID):</b>																			
	SCHEDULE A - SANITARY SEWER				\$181,246.80		\$181,246.80		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00
	SCHEDULE B - WATER MAIN				\$487,962.50		\$0.00		\$487,962.50		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00
	SCHEDULE C - STORM SEWER				\$120,165.00		\$0.00		\$0.00		\$97,920.00		\$0.00		\$800.00		\$19,195.00		\$2,700.00
	SCHEDULE D - SITE WORK				\$893,736.00		\$1,613.00		\$22,370.00		\$5,690.00		\$606,755.40		\$40,026.00		\$206,705.60		\$696.00
<b>PROJECT TOTAL CONTRACT A-21</b>					\$1,683,110.30		\$182,859.80		\$510,332.50		\$103,610.00		\$606,755.40		\$40,826.00		\$225,900.60		\$3,396.00

ROAD OVERSIZING - COMM DEPTH OF BASE 18" VS 15" RES - NO ADDITIONAL WIDTH

**VILLAGE OF BELLEVUE**  
**2021 ROADWAY PAVING - ESTIMATED**  
**PRELIMINARY ASSESSMENT SUMMARY**  
**RECONSTRUCTION**  
**GUNS STREET**

3/4/2021

**PER FRONT FOOT**

Guns Street Total Construction Costs	\$1,683,110.30
Contingency	\$84,155.52
Engineering/Inspection	\$336,622.06
Administration	\$33,662.21
Total Street Tree Cost	\$14,400.00
Guns Street Total Project Cost	\$2,151,950.08
<b>NON-RESIDENTIAL COST PER FRONT FOOT</b>	
Guns Street Subtotal of Assessable Construction Costs (37'BB Section)	\$606,755.40
Contingency	\$30,337.77
Engineering / Inspection	\$121,351.08
Administration	\$12,135.11
Project Assessable Subtotal Cost	\$770,579.36
LRIP (MSID Construction) Funding	<b>\$450,000.00</b>
Project Assessable Total Less LRIP Funding	\$320,579.36
Number of Street Trees	24
Cost per Tree	\$600.00
Total Street Tree Cost	\$14,400.00
Project Assessable Total Cost	\$334,979.36
Total Front Footage	<b>6,767.24</b>
<b>Non-Residential Cost Per Front Foot</b>	<b>\$49.50</b>
Maximum Assessment Rate per Ordinance (2021)	\$7,426.00
Maximum Per Front Foot Assessment Rate per Ordinance (80 ft Lot)	\$92.83



**VILLAGE OF BELLEVUE**  
**2021 ROADWAY PAVING - ESTIMATED**  
**PRELIMINARY ASSESSMENT SUMMARY**  
**RECONSTRUCTION**  
**GUNS STREET**

3/4/2021

**PER LOT**

Guns Street Total Construction Costs	\$1,683,110.30
Contingency	\$84,155.52
Engineering/Inspection	\$336,622.06
Administration	\$33,662.21
Total Street Tree Cost	\$14,400.00
Guns Street Total Project Cost	\$2,151,950.08
<b>RESIDENTIAL COST PER LOT</b>	
Guns Street Subtotal of Assessable Construction Costs (37'BB Section)	\$593,714.19
Contingency	\$29,685.71
Engineering / Inspection	\$118,742.84
Administration	\$11,874.28
Project Assessable Subtotal Cost	\$754,017.02
Less LRIP (MSID Construction) Funding	\$450,000.00
Less Non-Residential Cost Funding	\$93,499.34
Project Assessable Total Less LRIP Funding	\$210,517.68
Number of Street Trees	24
Cost per Tree	\$600.00
Total Street Tree Cost	\$14,400.00
Project Assessable Total Cost	\$224,917.68
Number of Lots	36.00
<b>RESIDENTIAL COST PER LOT</b>	<b>\$6,247.71</b>
Maximum Assessment Rate per Ordinance (2021)	\$7,426.00

**VILLAGE OF BELLEVUE**  
**2021 ROADWAY PAVING - ESTIMATED**  
**PRELIMINARY ASSESSMENT SUMMARY**  
**STORM SEWER LATERAL**  
**GUNS STREET**

3/4/2021

**PER LATERAL**

<b>COST PER LATERAL</b>	
Storm Sewer Laterl Total Construction Costs	\$3,396.00
Contingency	\$169.80
Engineering/Inspection	\$679.20
Administration	\$67.92
Storm Sewer Lateral Total Project Cost	\$4,312.92
Storm Sewer Lateral Total Project Assessable Cost	\$4,312.92
Number of Lots	3.00
<b>RESIDENTIAL COST PER LOT</b>	<b>\$1,437.64</b>



**VILLAGE OF BELLEVUE  
 2021 ROADWAY PAVING - ESTIMATED  
 PRELIMINARY ASSESSMENT SUMMARY  
 RECONDITION  
 MOONRISE COURT**

3/4/2021

**PER FRONT FOOT**

<b>NON-RESIDENTIAL COST PER FRONT FOOT</b>	
Moonrise Court Total Construction Costs	\$40,826.00
Contingency	\$2,041.30
Engineering/Inspection	\$8,165.20
Administration	\$816.52
Number of Street Trees	\$4,200.00
	<hr/>
Project Assessible Total Cost	\$56,049.02
Total Front Footage	974.07
<b>Non-Residential Cost Per Front Foot</b>	<b>\$57.54</b>
Maximum Assessment Rate per Ordinance (2021)	\$7,426.00
Maximum Per Front Foot Assessment Rate per Ordinance (80 ft Lot)	\$92.83

**VILLAGE OF BELLEVUE  
 2021 ROADWAY PAVING - ESTIMATED  
 PRELIMINARY ASSESSMENT SUMMARY  
 RECONDITION  
 MOONRISE COURT**

3/4/2021

**PER LOT**

<b>RESIDENTIAL COST PER LOT</b>	
Moonrise Court Total Construction Costs	\$40,826.00
Contingency	\$2,041.30
Engineering/Inspection	\$8,165.20
Administration	\$816.52
Total Street Tree Cost	\$4,200.00
	<hr/>
Moonrise Court Total Project Cost	\$56,049.02
Less Corner Park Non-Residential Cost	\$10,948.71
	<hr/>
Moonrise Court Total Project Assessable Cost	\$45,100.31
Number of Lots	6.50
<b>RESIDENTIAL COST PER LOT</b>	<b>\$6,938.51</b>
Maximum Assessment Rate per Ordinance (2021)	\$7,426.00



**SCHEDULE C**  
**Proposed Assessments**

**Guns Street (Verlin Road to Village Limits)**  
**Moonrise Court (Guns Street to Cul de Sac)**

See attached spreadsheet for a list of properties against which the proposed assessments are to be made and which are benefited by the proposed improvements.



VILLAGE OF BELLEVUE  
 PRELIMINARY IMPROVEMENT ESTIMATED COST FOR GUNS STREET  
 March 5, 2021



#	PARCEL#	OWNER NAME	PARCEL ADDRESS	FRONT FOOTAGE	NON-RESIDENTIAL FRONT FOOTAGE	COST PER FRONT FOOT	TOTAL COST NON-RES	NUMBER OF LOTS	COST PER LOT	TOTAL COST LOT	NUMBER STORM LATERALS	COST PER LATERAL	COST PER LATERAL2	TOTAL ASSESSMENT FOR STREET IMPROVEMENTS
3	B-1570	MARTIN VANDENHEUVEL	1657 GUNS ST	213.17			\$0.00	0.5	\$6,247.71	\$3,123.86		\$1,437.64	\$0.00	\$3,123.86
73	B-596-1	MICHAEL J SUEMNICK	1631 GUNS ST	148.17			\$0.00	0.5	\$6,247.71	\$3,123.86		\$1,437.64	\$0.00	\$3,123.86
77	B-596-4	BELLEVUE VILLAGE OF MOONRISE PARK	2215 MOONRISE CT	159.3	159.3	\$49.50	\$7,885.35		\$6,247.71	\$0.00		\$1,437.64	\$0.00	\$7,885.35
78	B-596-6	GEORGE T KOSTOULAS	2214 SKYVIEW ST	200.21			\$0.00	0.5	\$6,247.71	\$3,123.86		\$1,437.64	\$0.00	\$3,123.86
70	B-350-23	KEVIN M OHEARN	1511 GUNS ST	156.66			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
68	B-350-21	KENNETH L SCHAUER	1501 GUNS ST	88			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
61	B-252-10	TIMOTHY J PETIJEAN	1483 GUNS ST	88			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
65	B-252-9	ROSALYN E BUNKE	1475 GUNS ST	88			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
62	B-252-2	ALEXANDER W COUCH	1465 GUNS ST	85			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
64	B-252-5	MEGAN A MIELCAREK	1457 GUNS ST	85			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
63	B-252-4	JAMES GERLACH	1445 GUNS ST	85			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
59	B-250-2	MARIA GUADALUPE OROZCOVICTORIA	1433 GUNS ST	127.5			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
60	B-250-3	MARK A CHARLES	1421 GUNS ST	127.5			\$0.00	0.5	\$6,247.71	\$3,123.86		\$1,437.64	\$0.00	\$3,123.86
72	B-350-78	DENNIS M JOHNSEN	1337 LYNWOOD LN	184.18			\$0.00	0	\$6,247.71	\$0.00		\$1,437.64	\$0.00	\$0.00
1	23-242	WAL MART STORES INC	1300 GUNS RD BLK	472	472	\$49.50	\$23,364.00		\$6,247.71	\$0.00		\$1,437.64	\$0.00	\$23,364.00
11	B-230	WAL MART REAL ESTATE BUSINESS TRUST	2292 MAIN ST	398.71	398.71	\$49.50	\$19,736.15		\$6,247.71	\$0.00		\$1,437.64	\$0.00	\$19,736.15
12	B-230-2	ROGER M THIBAudeau	1223 GUNS ST	76.5			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
14	B-232-2	MICHAEL W SWAN	1222 GUNS ST	81.24			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
13	B-232-1	JONATHAN D OBRIEN	1232 GUNS ST	70			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
15	B-235	KELLY J WILLIQUETTE	1252 GUNS ST	191.93			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
16	B-235-1	JOSEF L SZOPINSKI	1304 GUNS ST	132			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
51	B-243	JOHN BROSIG	1310 GUNS ST	95.12			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
53	B-243-5	JOHN G BROSIG	1314 GUNS ST A	85.27			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
52	B-243-4	JBS GREEN BAY INC	1330 GUNS ST BLK	137.42			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
30	B-2374	CYPRESS HOMES INC	2113 ROYAL CREST CIR	359.76	310.76	\$49.50	\$15,382.62		\$6,247.71	\$0.00		\$1,437.64	\$0.00	\$15,382.62
57	B-249-2-4	TYLER J JANDRIN	1404 GUNS ST	152.17			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
56	B-249-2-3	TODD WAGNER	1420 GUNS ST	80			\$0.00	1	\$6,247.71	\$6,247.71	1.0	\$1,437.64	\$1,437.64	\$7,685.35
55	B-249-2-2	GLENN R VERHAAGH	1430 GUNS ST	114.88			\$0.00	1	\$6,247.71	\$6,247.71	1.0	\$1,437.64	\$1,437.64	\$7,685.35
4	B-1820	TIMOTHY M SMITH	2193 BUFFLEHEAD LN	87.42			\$0.00	0.5	\$6,247.71	\$3,123.86		\$1,437.64	\$0.00	\$3,123.86
5	B-1830	SERGIO S MERCADO	1462 GUNS ST	117.42			\$0.00	0.5	\$6,247.71	\$3,123.86		\$1,437.64	\$0.00	\$3,123.86
6	B-1831	JACOBSEN ARNO H & MARY A REVOCABLE TRUST	1470 GUNS ST	92			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
7	B-1832	LAURA L SIMULA, ETAL	1478 GUNS ST	92			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
8	B-1833	SETH A BLACKMAN	1486 GUNS ST	92			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
9	B-1834	DARIN M SLEGER	1502 GUNS ST	92			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
69	B-350-22	KOUA LEE	1505 GUNS ST	88			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
10	B-1835	ELIAS ENRIQUEZ	1508 GUNS ST	196.11			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
71	B-350-24	ANTHONY R BARKO	2213 SKYVIEW ST	0			\$0.00	0	\$6,247.71	\$0.00		\$1,437.64	\$0.00	\$0.00
79	B-596-7	WILLIAM J KINGSTON, ETAL	1539 ORIOLE ST	80			\$0.00	0	\$6,247.71	\$0.00		\$1,437.64	\$0.00	\$0.00
80	B-596-8	BRANDON OLSON	1566 GUNS ST	101.38			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
81	B-596-9	BRANDON OLSON	1582 GUNS ST	100.06			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
74	B-596-10	CHIYOU VANG, ETAL	1600 GUNS ST	100			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
75	B-596-11	BRYAN M LOUIS	1616 GUNS ST	100			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
76	B-596-12	DENIS M LOUIS	1630 GUNS ST	120.52			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
66	B-323-3	KEVIN J BOEDER	1640 GUNS ST	80			\$0.00	1	\$6,247.71	\$6,247.71	1.0	\$1,437.64	\$1,437.64	\$7,685.35
67	B-323-4	LISA A SIERACKI	1652 GUNS ST	139.04			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
58	B-250-1	PATRICK THOMPSON	1363 GUNS ST	255			\$0.00	1	\$6,247.71	\$6,247.71		\$1,437.64	\$0.00	\$6,247.71
2	23-243-1	JBS GREEN BAY INC	0 LIME KILN RD	155.1	155.1	\$49.50	\$7,677.45	0	\$6,247.71	\$0.00		\$1,437.64	\$0.00	\$7,677.45
54	B-246	WISCONSIN CENTRAL LTD	0 STH 141	393			\$0.00	0	\$6,247.71	\$0.00		\$1,437.64	\$0.00	\$0.00
<b>Totals:</b>				<b>6763.74</b>	<b>1495.87</b>		<b>\$74,045.57</b>	<b>36</b>		<b>\$224,917.56</b>	<b>3.0</b>		<b>\$4,312.92</b>	<b>\$303,276.05</b>





FINAL - PRELIMINARY PER LOT IMPROVEMENT ESTIMATED COST FOR MOONRISE CT  
3/4/2021

#	PARCEL#	OWNER NAME	PARCEL ADDRESS	FRONT FOOT	ASSESSABLE FRONT FOOTAGE	NON-RESIDENTIAL FRONT FOOTAGE	COST PER FRONT FOOT	TOTAL COST NON-RES	NUMBER OF LOTS	COST PER LOT	TOTAL COST LOT	TOTAL ASSESSMENT FOR STREET IMPROVEMENTS
1	B-596-1	MICHAEL J SUEMICK	1631 GUNS ST	136.91	136.91		\$57.54	\$0.00	0.5	\$6,938.51	\$3,469.26	\$3,469.26
2	B-350-2	CHRISTOPHER SHAW	2232 MOONRISE CT	75	80		\$57.54	\$0.00	1	\$6,938.51	\$6,938.51	\$6,938.51
3	B-596-4	BELLEVUE VILLAGE OF MOONRISE PARK	2215 MOONRISE CT	190.28	190.28	190.28	\$57.54	\$10,948.71		\$6,938.51	\$0.00	\$10,948.71
4	B-350-5	MARIA VARGAS PLASCENCIA, JOSE TABARES MORA	2229 MOONRISE CT	121.97	121.97		\$57.54	\$0.00	1	\$6,938.51	\$6,938.51	\$6,938.51
5	B-596-2	THOMAS C STRANG	2222 MOONRISE CT	100	100		\$57.54	\$0.00	1	\$6,938.51	\$6,938.51	\$6,938.51
6	B-350-4	BRIAN R SCHILT	2240 MOONRISE CT	71.81	80		\$57.54	\$0.00	1	\$6,938.51	\$6,938.51	\$6,938.51
7	B-596-3	TODD W JEROVETZ	2219 MOONRISE CT	90	90		\$57.54	\$0.00	1	\$6,938.51	\$6,938.51	\$6,938.51
8	B-350-1	MARTIN VANDENHEUVEL, DIANE VANDENHEUVEL	2228 MOONRISE CT	94.91	94.91		\$57.54	\$0.00	1	\$6,938.51	\$6,938.51	\$6,938.51
9	B-350-3	JAMES E LOVELL, LINDA L LOVELL	2238 MOONRISE CT	61.92	80		\$57.54	\$0.00	0	\$6,938.51	\$0.00	\$0.00
<b>Totals:</b>				<b>942.8</b>	<b>974.07</b>	<b>190.28</b>	<b>\$57.54</b>	<b>\$10,948.71</b>	<b>6.5</b>	<b>\$6,938.51</b>	<b>\$45,100.32</b>	<b>\$56,049.03</b>